

Request for a Determination of Applicability

pursuant to

The Regulations of the Massachusetts Wetlands Protection Act
310 CMR 10.00

and the
City of New Bedford Wetlands Protection Ordinance

Palmers Island Lighthouse Restoration Project New Bedford, Massachusetts



Prepared For:

New Bedford Harbor Development Commission
52 Fisherman's Wharf
New Bedford, Massachusetts 02740

January 2014



January 29, 2014

Mr. Kenneth Motta, Chairman
New Bedford Conservation Commission
City Hall, Room 304
133 William Street
New Bedford, MA 02740

Re: Request for a Determination of Applicability
Palmer's Island Lighthouse Restoration Project
New Bedford, Massachusetts
PARE Project No. 09036.01/013

Dear Mr. Motta and Members of the Conservation Commission:

Pare Corporation (PARE), on behalf of the New Bedford Harbor Development Commission (HDC), is pleased to submit the attached Request for a Determination of Applicability (RDA) and supporting documentation addressing the rehabilitation of the Palmer's Island Lighthouse. The submitted information includes the following:

- Original and one copy of the completed RDA
- Two (2) full-sized sets of Project Plans entitled "Palmer's Island Lighthouse Restoration Project" prepared by Pare Corporation dated October 2013.
- A CD with the entire RDA submission in .pdf format.

Proof of ownership by the City of New Bedford is contained in a quitclaim deed from the United States of America to the City of New Bedford recorded in book 1837 page 118 at the New Bedford Registry of Deeds.

A copy of this RDA is being submitted concurrently to the Massachusetts Department of Environmental Protection, Southeast Regional Office and the Massachusetts Division of Marine Fisheries.

Existing Conditions

Palmer's Island Lighthouse, originally constructed in 1849 on the northeast end of Palmer's Island, served as an aid to navigation until the 1960's when it was rendered obsolete by the construction of the New Bedford Harbor Hurricane Barrier. After passing through a number of owners, the lighthouse became the property of the City of New Bedford in 1978. The City has, over the intervening years, undertaken a number of renovation projects including adding a solar-powered lantern and improving security. The light house was added to the National Register of Historic Places in 1980. Currently, the lighthouse requires a number of repairs to ensure its long term viability and to improve the safety of visitors to the City-owned island.





The lighthouse consists of a rubblestone tower on a stone foundation. A circular aluminum deck on top of the tower provided access to the lantern. The lantern housing itself was supported by a concrete masonry unit (CMU) wall located on top of the tower. Access to the deck is provided by an interior circular steel stairway installed after the City obtained ownership of the lighthouse. Entrance to the tower is via a steel door located on the western (land) side of the tower. On the east side of the tower is a concrete platform which formerly served as the foundation for wood frame fog bell tower, which was lost in a fire. The outboard end of this platform is supported by steel piles, one of which is no longer in contact with the rock on which it was originally founded.

Proposed Repairs

A number of repairs to Palmer's Island Light are proposed, as shown on the attached plans. The most visible repairs are related to the lantern housing and access decking. During the fall of 2013 the lantern housing was removed from the lighthouse and moved to an indoor location where it is currently undergoing refurbishment. This activity involved demolishing the aluminum deck and its supports, removing the solar cells and appurtenant components that power the lantern, craning the lantern housing off of the tower, and removing the CMU lantern support wall. The top of the tower was temporarily sealed with a 1" steel road plate. Lantern and deck refurbishment include cleaning and restoring/painting the metal lantern frame, installing and sealing new Lexan© bullet proof glass, fabricating a new fiberglass deck and metal railing system, and mounting the deck onto a new reinforced concrete circular support wall.

Tower and foundation repairs, scheduled for the spring of 2014, include the following:

- Prepare top of existing stone tower wall to provide a suitable base surface for installation of the wall/deck assembly by filling voids in existing levelling course to provide sound, level base.
- Using a crane barge, pick and install the wall/deck assembly. Mechanically fasten concrete wall and deck to the existing lighthouse walls.
- Install the rehabilitated lantern housing on top of the new concrete wall. Mechanically fasten lantern housing to the concrete wall.
- Clear debris and trash from the interior of lighthouse. Wash the interior lighthouse wall surfaces. Inspect, chink and repoint missing or loose mortar or wall stones as required.
- Inspect existing spiral steel stairs for and center pipe for corrosion. Clean, repair, and paint existing stairs as required.
- Wash entire exterior surface of lighthouse walls. Inspect and repoint any loose or missing stones or mortar. Paint exterior lighthouse face after wash and repointing with similar white paint. Work on lower portions of the tower must be performed during periods of low tide.
- Reinforce outboard steel support pipes on the bell tower platform with cast in place concrete, epoxy anchored to existing stone base and formed in fiberglass can form.
- Install new hatches and windows with matching hardware. Repair any perimeter housings. Provide weather seal around perimeter of housing openings.
- Reinforce main doorway frame with new lally columns.



Mr. Kenneth Motta, Chairman

-3-

January 28, 2014

- Reinstall solar panel light assembly, replacing components as needed. Position solar panels to optimize solar exposure. Install wiring through concrete wall opening and reconnect. Perform operational check of lantern system.
- Demobilize, and return disturbed areas of the site to preconstruction condition.

This project requires no impacts to wetland resource areas.

We thank you very much for your consideration of this application. If you have any questions please feel free to contact me.

Sincerely,

Briscoe B. Lang, PWS
Principal Environmental Scientist

BBL/

Encl.

cc: DEP Southeast Regional Office
MA Division of Marine Fisheries
New Bedford Harbor Development Commission

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**WPA Form 1 – Request for a Determination of
Applicability**



WPA Form 1- Request for Determination of Applicability

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

A. General Information

Important:
When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



1. Applicant:

Jeffrey Stieb, Executive Director Name	Jeffrey.Stieb@newbedford-ma.gov E-Mail Address
52 Fisherman's Wharf Mailing Address	
New Bedford City/Town	MA State 02740 Zip Code
(508) 961-3000 Phone Number	Fax Number (if applicable)

2. Representative (if any):

Pare Corporation Firm	blang@parecorp.com E-Mail Address
Briscoe B. Lang, PWS Contact Name	
10 Lincoln Road, Suite 103 Mailing Address	
Foxborough City/Town	MA State 02035 Zip Code
(508) 543-1755 Phone Number	(508) 543-1881 Fax Number (if applicable)

B. Determinations

1. I request the New Bedford Conservation Commission make the following determination(s). Check any that apply:

- a. whether the **area** depicted on plan(s) and/or map(s) referenced below is an area subject to jurisdiction of the Wetlands Protection Act.
- b. whether the **boundaries** of resource area(s) depicted on plan(s) and/or map(s) referenced below are accurately delineated.
- c. whether the **work** depicted on plan(s) referenced below is subject to the Wetlands Protection Act.
- d. whether the area and/or work depicted on plan(s) referenced below is subject to the jurisdiction of any **municipal wetlands ordinance** or **bylaw** of:

Name of Municipality

- e. whether the following **scope of alternatives** is adequate for work in the Riverfront Area as depicted on referenced plan(s).



WPA Form 1- Request for Determination of Applicability

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

C. Project Description

1. a. Project Location (use maps and plans to identify the location of the area subject to this request):

<u>Palmer's Island</u>	<u>New Bedford</u>
Street Address	City/Town
<u>32</u>	<u>1</u>
Assessors Map/Plat Number	Parcel/Lot Number

- b. Area Description (use additional paper, if necessary):

Palmer's Island Lighthouse

- c. Plan and/or Map Reference(s):

<u>Palmer's Island Lighthouse Restoration Project</u>	<u>October 2013</u>
Title	Date
<hr/>	<hr/>
Title	Date
<hr/>	<hr/>
Title	Date

2. a. Work Description (use additional paper and/or provide plan(s) of work, if necessary):

Interior and exterior renovations as described in the attached Cover Letter.



WPA Form 1- Request for Determination of Applicability

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

C. Project Description (cont.)

b. Identify provisions of the Wetlands Protection Act or regulations which may exempt the applicant from having to file a Notice of Intent for all or part of the described work (use additional paper, if necessary).

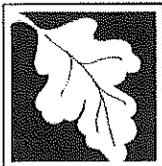
310 CMR 10.24 7(C)(2) Maintenance, repair, and improvement of structures which existed on

November 1, 1987.

3. a. If this application is a Request for Determination of Scope of Alternatives for work in the Riverfront Area, indicate the one classification below that best describes the project.

- Single family house on a lot recorded on or before 8/1/96
- Single family house on a lot recorded after 8/1/96
- Expansion of an existing structure on a lot recorded after 8/1/96
- Project, other than a single family house or public project, where the applicant owned the lot before 8/7/96
- New agriculture or aquaculture project
- Public project where funds were appropriated prior to 8/7/96
- Project on a lot shown on an approved, definitive subdivision plan where there is a recorded deed restriction limiting total alteration of the Riverfront Area for the entire subdivision
- Residential subdivision; institutional, industrial, or commercial project
- Municipal project
- District, county, state, or federal government project
- Project required to evaluate off-site alternatives in more than one municipality in an Environmental Impact Report under MEPA or in an alternatives analysis pursuant to an application for a 404 permit from the U.S. Army Corps of Engineers or 401 Water Quality Certification from the Department of Environmental Protection.

b. Provide evidence (e.g., record of date subdivision lot was recorded) supporting the classification above (use additional paper and/or attach appropriate documents, if necessary.)



WPA Form 1- Request for Determination of Applicability
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

D. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Request for Determination of Applicability and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge.

I further certify that the property owner, if different from the applicant, and the appropriate DEP Regional Office were sent a complete copy of this Request (including all appropriate documentation) simultaneously with the submittal of this Request to the Conservation Commission.

Failure by the applicant to send copies in a timely manner may result in dismissal of the Request for Determination of Applicability.

Name and address of the property owner:

City of New Bedford

Name

133 William Street Room 109

Mailing Address

New Bedford

City/Town

Massachusetts

State

02740

Zip Code

Signatures:

I also understand that notification of this Request will be placed in a local newspaper at my expense in accordance with Section 10.05(3)(b)(1) of the Wetlands Protection Act regulations.

Signature of Applicant

Date

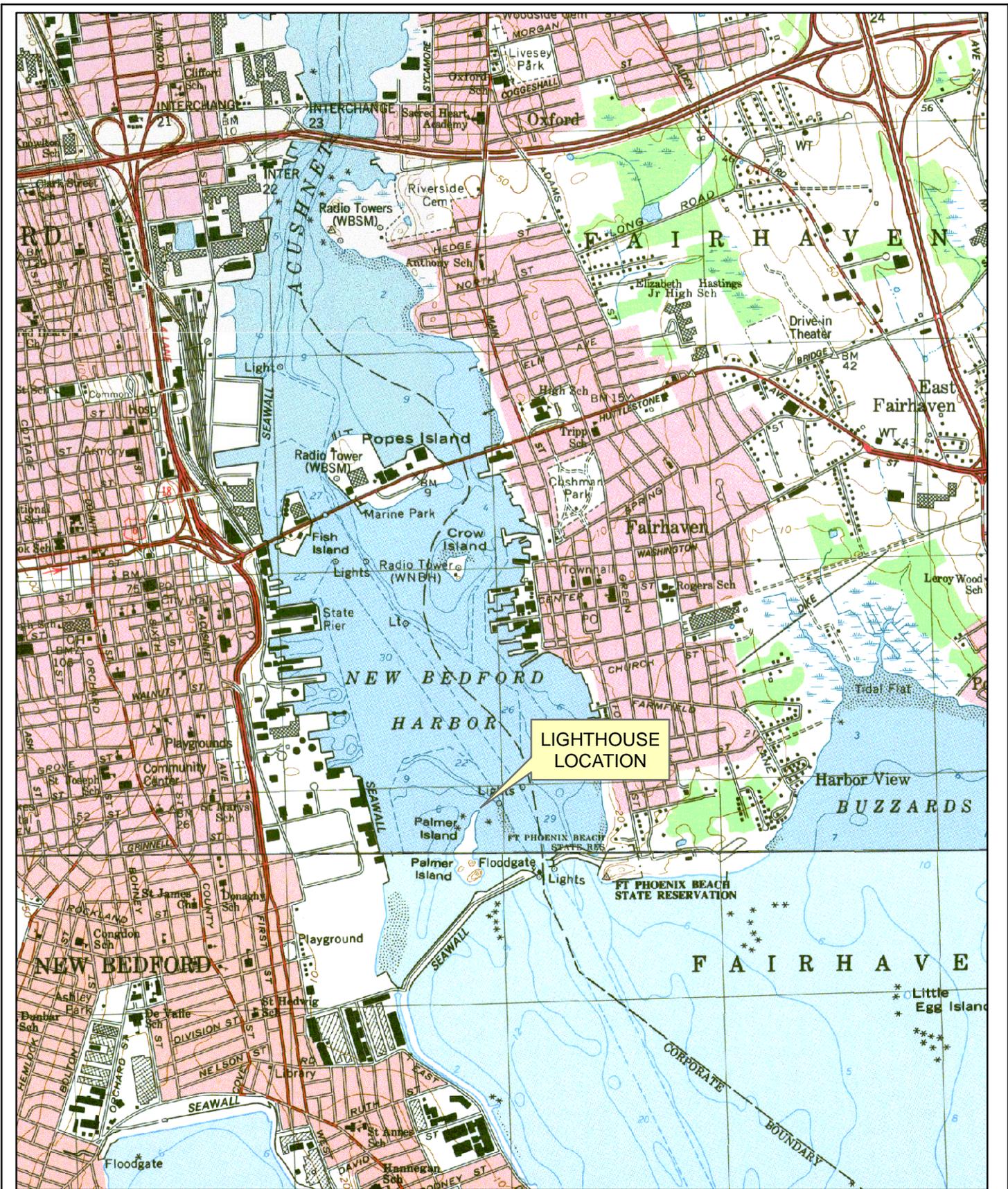
Signature of Representative (if any)

Date

Figures

Figure 1 – Site Location Map

Figure 2 – Annotated MassGIS Aerial Photograph



PARE CORPORATION
 10 LINCOLN ROAD, SUITE 103
 FOXBOROUGH, MA 02035
 (508) 543-1755



FIGURE 1
 SITE LOCATION MAP
 PALMERS ISLAND LIGHTHOUSE
 NEW BEDFORD, MASSACHUSETTS

PROJECT NO. 09036.01 SCALE: 1"= 2,000'



LIGHTHOUSE
LOCATION



PARE CORPORATION
10 LINCOLN ROAD, SUITE 103
FOXBOROUGH, MA 02035
(508) 543-1755

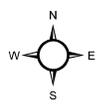


FIGURE 2
AERIAL PHOTOGRAPH
PALMERS ISLAND LIGHTHOUSE
NEW BEDFORD, MASSACHUSETTS

PROJECT NO. 09036.01 SCALE: 1"= 2,000'

Photographs



Photo 1 – Palmers Island Lighthouse



Photo 2 – Detail of lantern housing, CMU wall, deck/rail and solar panels prior to removal





Photo 3 – Steel platform support pile out of contact with bedrock



Photo 4 – Lighthouse with lantern housing CMU wall, deck/rail and solar panels removed.



Project Plans

Prepared for The:

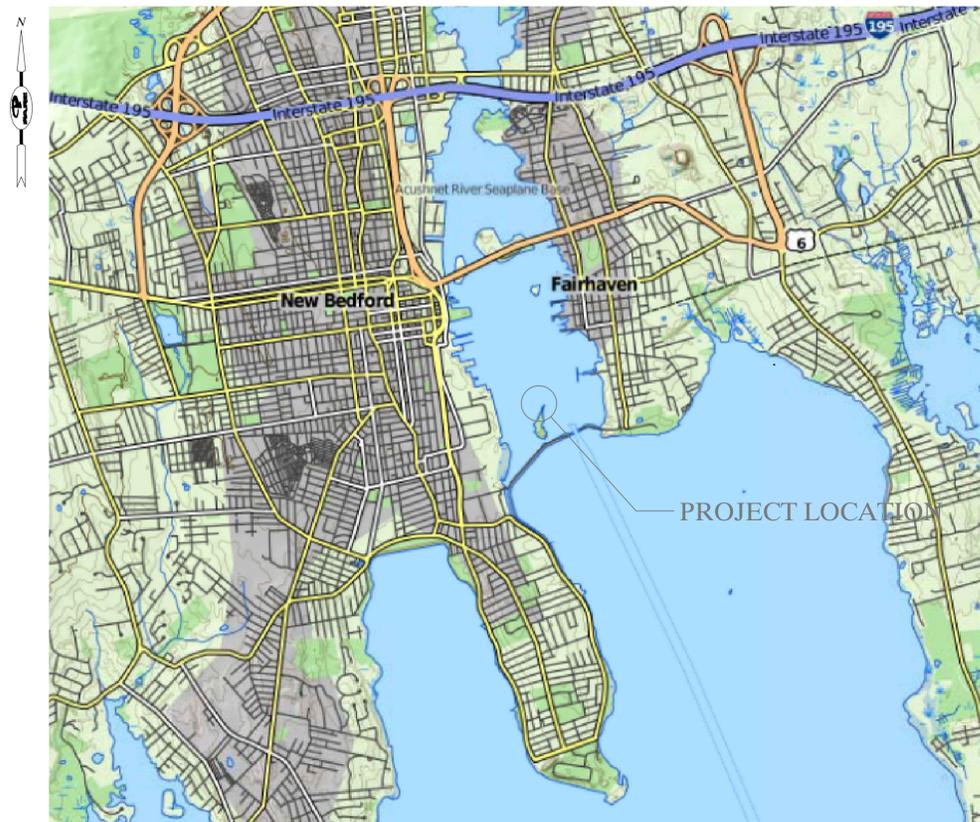
NEW BEDFORD HARBOR DEVELOPMENT COMMISSION PALMERS ISLAND LIGHTHOUSE RESTORATION PROJECT

NEW BEDFORD, MASSACHUSETTS

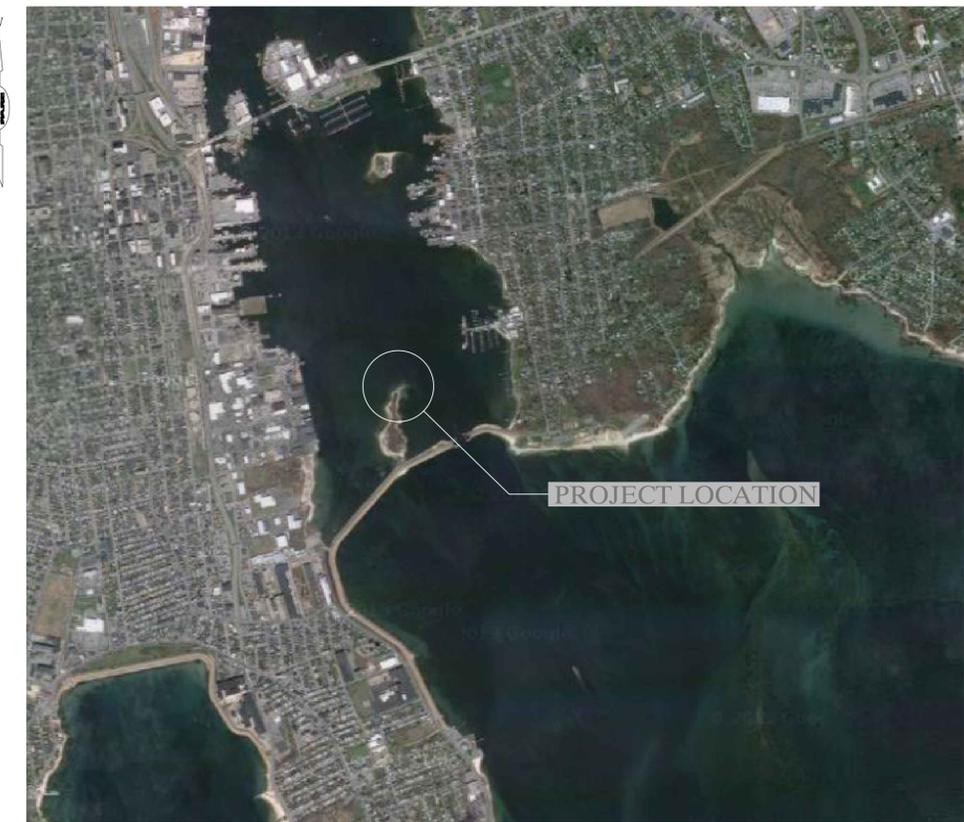
JANUARY 2014

Drawing Index

- 0.0 COVER SHEET
- 1.0 NOTES
- 2.0 EXISTING CONDITIONS
(SECTION AND DETAILS)
- 3.0 TEMPORARY
CONSTRUCTION
- 4.0 PROPOSED REPAIRS
(SECTIONS AND DETAILS)
- 4.1 PROPOSED REPAIRS
(SECTION AND DETAILS)



LOCUS PLAN
SCALE: 1" = 2000'



AERIAL PLAN
SCALE: 1" = 1500'

Prepared by:

PARE CORPORATION
Foxboro, Massachusetts



GENERAL SCOPE OF WORK

A. DEMOLITION AND REMOVAL

1. PRIOR TO PROJECT COMMENCEMENT, NOTIFY AND COORDINATE WITH ALL STATE, LOCAL AND FEDERAL AUTHORITIES AS REQUIRED.
2. MOBILIZE CONSTRUCTION EQUIPMENT AND PERSONNEL TO NEARBY STAGING AREA. UTILIZATION OF PALMERS ISLAND PROPERTY FOR STAGING SHALL BE COORDINATED WITH THE CITY OF NEW BEDFORD AND LANDOWNER AS APPROPRIATE. BARGE OPERATIONS SHALL BE COORDINATED WITH THE USCG.
3. INSTALL PROPER INTERIOR AND EXTERIOR SCAFFOLDING, FALSEWORK AND SAFETY EQUIPMENT AS REQUIRED BY OSHA AND/OR OTHER APPLICABLE CODES. ENSURE WORKERS ARE PROPERLY INFORMED OF ANY POTENTIAL HAZARDS PRIOR TO WORK START.
4. REMOVE BOLTS FROM BASE SUPPORT OF SOLAR PANEL ASSEMBLY. DISASSEMBLE AND REMOVE EXISTING POLE, TOP LIGHT, CABLES, BATTERIES AND OTHER APPLICABLE SOLAR PANELS FEATURES.
5. RELEASE ANY SECURING HARDWARE FROM LIGHTHOUSE LANTERN. REMOVE LIGHTHOUSE LANTERN USING CRANE BARGE, AND PLACE ON DECK OF BARGE;
6. DISMANTLE EXISTING CONCRETE MASONRY UNIT WALL, 32 INCHES HIGH, AND PLACE BLOCKS AND MORTAR IN DEBRIS BUCKET. PROVIDE CAREFUL MEANS OF DISMANTLING AS TO MINIMIZE LARGER PIECES FROM FALLING TO GROUND. PLACE COLLECTED CMU DEBRIS ON DECK OF BARGE;
7. CUT EXISTING STEEL ANGLE DECK ANCHORS, AND DEMO THE EXISTING DECK AND RAILING. NOTCH EXISTING CONCRETE LEVELING COURSE TO EXPOSE STEEL TUBE MEMBERS. PROVIDE CAREFUL MEANS OF REMOVAL AS NOT TO DAMAGE THE EXISTING STONE WALL TOP. USE CRANE TO PLACE DECK ITEMS REMOVED ONTO BARGE.
8. PLACE 8FT BY 8FT BY 1 INCH THICK STEEL PLATE ON TOP OF LIGHTHOUSE TO SERVE AS TEMPORARY PROTECTIVE CAP OVER THE WINTER.

B. SHOP WORK

9. LANTERN CUPOLA AND DECK SHALL BE TRANSPORTED FROM THE CONTRACTOR'S YARD TO CITY PREMISES.
10. CLEAN AND RESTORE METAL FRAMING TO LIKE NEW CONDITION. PAINT/COATING SHALL BE AMERCOAT 236.
11. ALL INSTALLED GLASS WINDOWS WILL BE REMOVED AND DISPOSED OF PROPERLY. PREVIOUSLY INSTALLED CAULKING WILL BE REMOVED PRIOR TO INSTALLATION OF NEW LEXAN® BULLET PROOF GLASS OR EQUIVALENT. RE-SEAL WINDOWS IN ACCORDANCE WITH THE GLASS MANUFACTURES RECOMMENDATIONS.
12. FABRICATE STEEL DECK AND RAILING AS SHOWN ON THE DRAWINGS.
13. STEEL FABRICATIONS WILL BE GALVANIZED AND PAINTED BLACK.
14. CAST COATED STEEL DECK INTO REINFORCED CONCRETE CIRCULAR WALL AS INDICATED ON THE DRAWINGS. CONCRETE SHALL BE 4,000 PSI WITH A MINIMUM AIR ENTRAINMENT OF 5%. REINFORCEMENT SHALL BE GRADE 60 STEEL.
15. PROVIDE MEASURES SUCH THAT THE REINFORCED CONCRETE WALL SHALL BE MECHANICALLY FASTENED TO THE LIGHTHOUSE WALLS.

16. PAINT NEW CONCRETE WALL WITH MARINE ENAMEL, COLOR BLACK.
17. INSTALL FIBERGLASS GRATING AT INTERIOR AND EXTERIOR RADIAL AREAS. SECURE GRATING TO STRUCTURAL MEMBERS USING TYPE 316 STAINLESS STEEL MECHANICAL FASTENERS.

C. SITE WORK

18. PREPARE TOP OF EXISTING STONE WALL TO PROVIDE A SUITABLE BASE SURFACE FOR INSTALLATION OF THE CONCRETE WALL AND DECK STRUCTURE. FILL VOIDS IN EXISTING CEMENT LEVELING COURSE TO PROVIDE SOUND, LEVEL BASE.
19. USING A CRANE BARGE, PICK AND INSTALL THE CONCRETE WALL AND DECK STRUCTURE. MECHANICALLY FASTEN CONCRETE WALL AND DECK TO THE EXISTING LIGHTHOUSE WALLS.
20. INSTALL REHABILITATED LANTERN HOUSING ON TOP OF THE NEW CONCRETE WALL. MECHANICALLY FASTEN LANTERN HOUSING TO THE CONCRETE WALL.
21. CLEAR DEBRIS AND TRASH FROM INTERIOR OF LIGHTHOUSE FOR PROPER DISPOSAL. LIGHTLY WASH INSIDE LIGHTHOUSE WALL SURFACES. INSPECT, CHINK AND RE-POINT MISSING OR LOOSE MORTAR OR WALL STONES AS REQUIRED.
22. INSPECT EXISTING SPIRAL STEEL STAIR FOR SECTION LOSSES AND CORROSION. REPAIR DETERIORATED SECTIONS AS REQUIRED. CLEAN AND APPLY PROTECTIVE PAINT (RED) TO EXISTING STAIRS AS REQUIRED.
23. LIGHTLY WASH ENTIRE EXTERIOR SURFACE OF LIGHTHOUSE WALLS. INSPECT AND RE-POINT ANY LOOSE OR MISSING STONES OR MORTAR. CARRY OUT LOWER WORK DURING PERIODS OF LOW TIDE. EXTERIOR PAINT SHALL BE MARINE ENAMEL TO MATCH EXISTING (WHITE).
24. REINFORCE EXISTING DETERIORATED FRONT STEEL SUPPORT PIPES WITH CAST IN PLACE CONCRETE, EPOXY ANCHORED TO EXISTING STONE BASE AS INDICATED ON THE DRAWINGS. WORK WILL BE CARRIED OUT IN LOW TIDE CONDITIONS.
25. INSTALL NEW HATCHES AND WINDOWS WITH MATCHING HARDWARE. REPAIR ANY PERIMETER HOUSINGS. PROVIDE WEATHER SEAL AROUND PERIMETER OF HOUSING OPENINGS. INSTALL NEW FRAME SUPPORT FOR INTERIOR DOORWAY. REPLACE WOODEN VESTIBULE DOOR WITH LATCH (NO LOCK) ATTACHED WITH HEAVY DUTY GALVANIZED HINGES AND REPAINT.
26. INSPECT AND RE-INFORCE EXISTING LALLY COLUMNS NEAR THE MAIN ENTRANCE, AS REQUIRED. PROVIDE ADDITIONAL SUPPORTS TO BE ATTACHED TO THE EXISTING TOP DOORWAY STEEL PLATE. INSTALL NEW BASE PLATE AND ANCHORAGE AT THE SUPPORTS OF THE NEW LALLY COLUMNS.
27. PERFORM SOLAR PANEL LIGHT ASSEMBLY OPERATIONS CHECK. REPLACE BORKEN AND DEFECTIVE COMPONENTS AS NEEDED. RE-INSTALL INSIDE SOLAR POST AND LAMP. SOLAR PANEL MODULES WILL BE INSTALLED INDOORS AND POSITIONED TO MEET OPTIMAL DIRECTION OF EXPOSED DAYLIGHT. INSTALL WIRING SO THAT WILL CONNECT THROUGH CHARGING BATTERIES BELOW THE SOLAR PANELS.
28. DEMOBILIZE, AND RETURN DISTURBED AREAS OF THE SITE TO PRE-CONSTRUCTION CONDITION.

ISSUED FOR PERMITTING

PALMERS ISLAND LIGHTHOUSE RESTORATION PROJECT
 NEW BEDFORD HDC
 NEW BEDFORD, MA

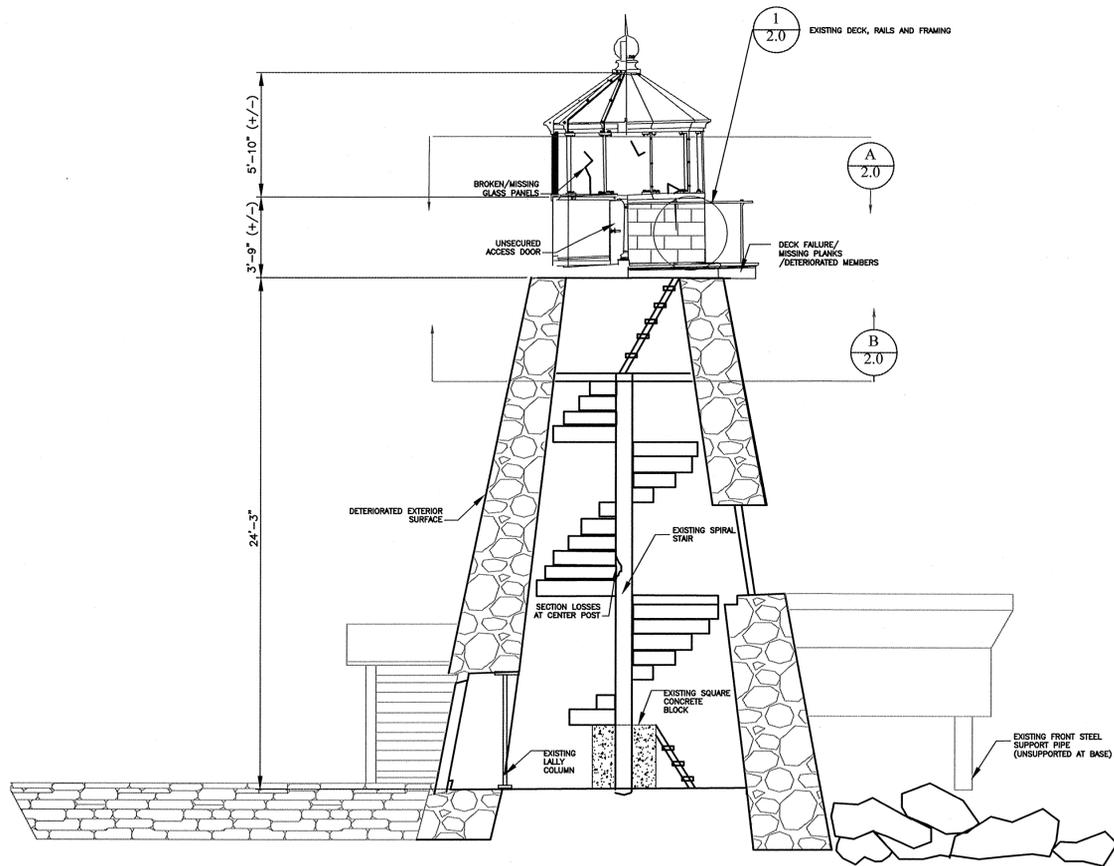


PARE CORPORATION
 ENGINEERS - SCIENTISTS - PLANNERS
 10 LINCOLN ROAD, SUITE 103
 FOXBORO, MA 02035
 508-543-1755

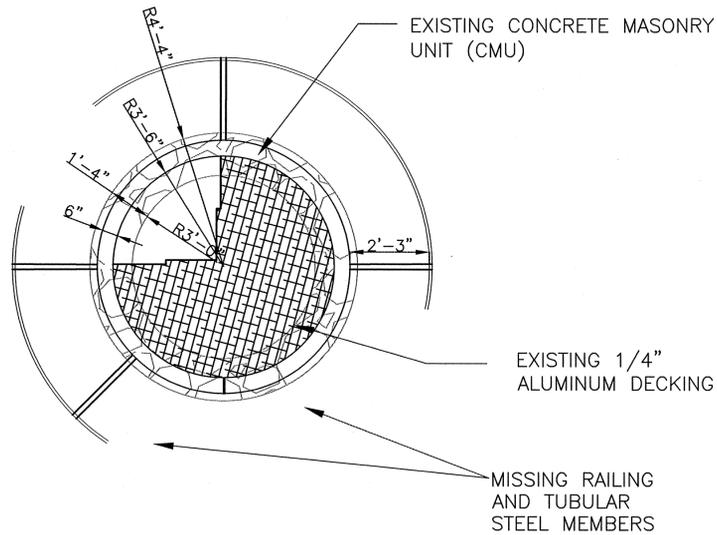
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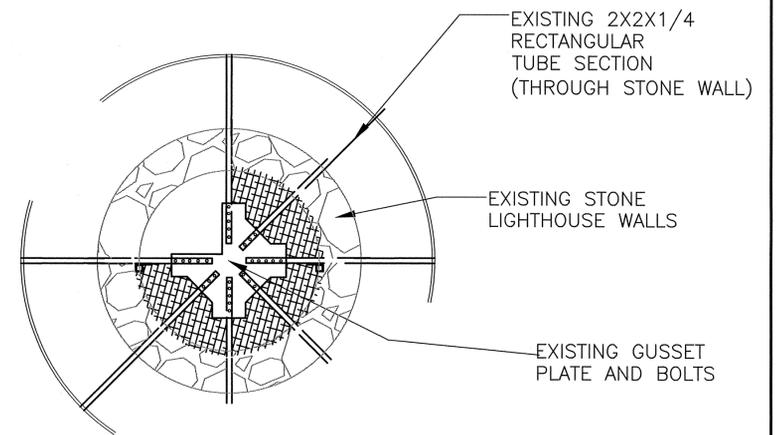
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DWG. NO.	
	1.0
	SHEET <u>2</u> OF <u>6</u>



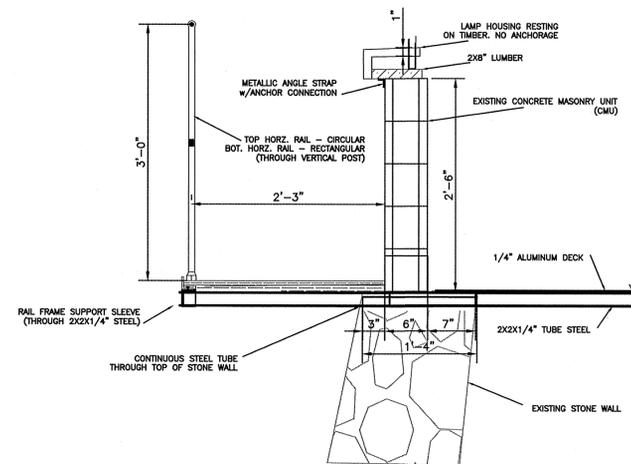
LIGHTHOUSE SECTION
SCALE: 1" = 4'



A DECK AND RAILING (TOP)
SCALE: 3/4" = 1'



B DECK AND RAILING (BOT.)
SCALE: 3/4" = 1'



1 EXISTING RAILING DETAIL
SCALE: 1" = 1'

ISSUED FOR PERMITTING

REVISIONS				REVISIONS			
NO.	DATE	BY	DESCRIPTION	NO.	DATE	BY	DESCRIPTION
A							

PALMERS ISLAND LIGHTHOUSE RESTORATION PROJECT

NEW BEDFORD HDC
NEW BEDFORD, MA

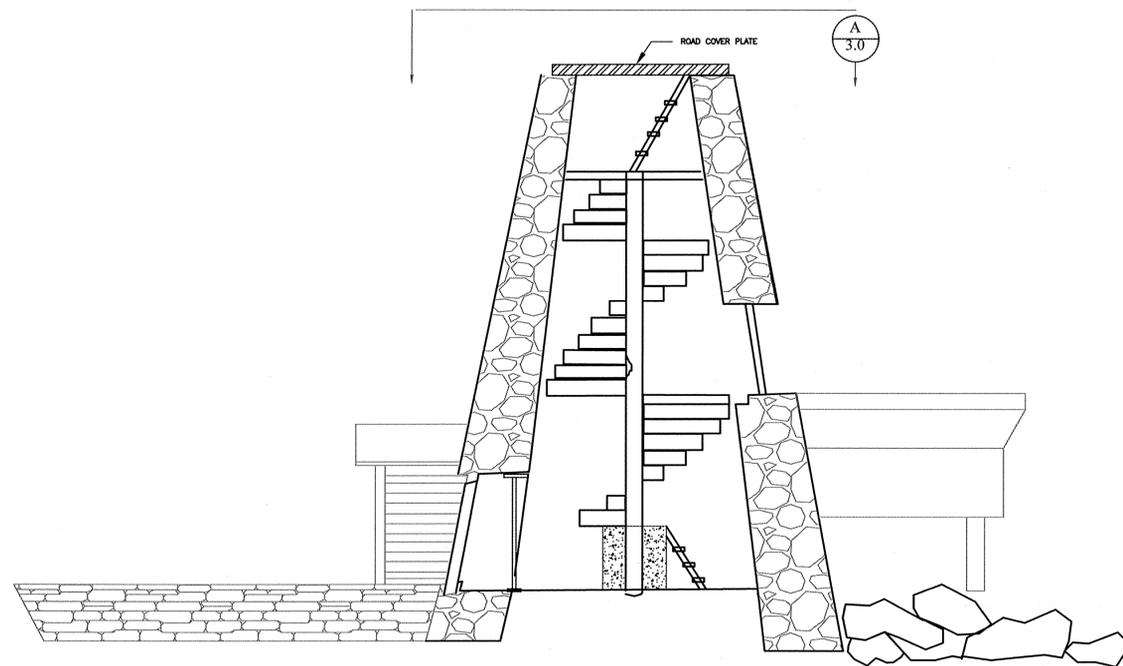


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FOXBORO, MA 02035
508-543-1755

EXISTING CONDITIONS (SECTIONS AND DETAILS)

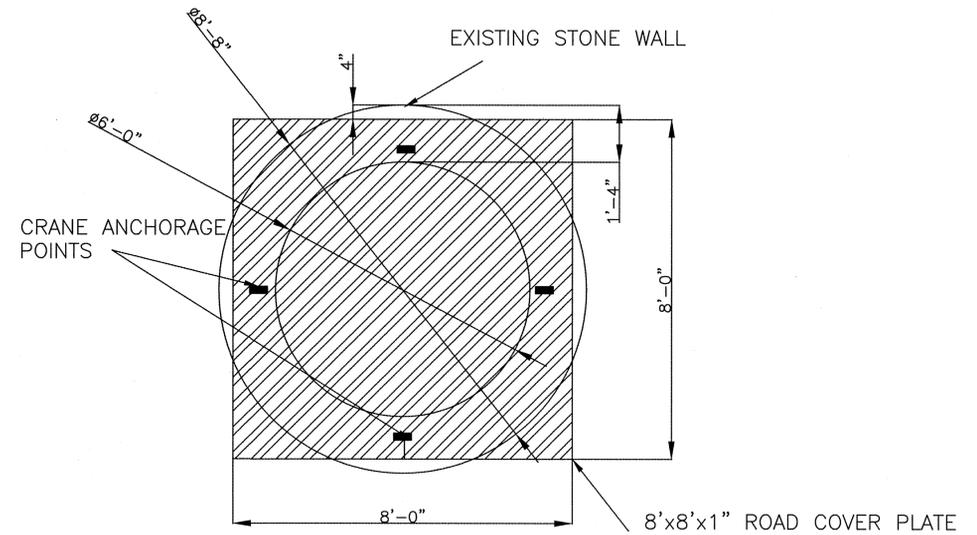
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CONST. REV.:	DATE:	APPROVED BY:	DATE:	CHECKED BY:	DATE:

SCALE: AS NOTED
PROJ. NO. 09036.01
DWG. NO. 2.0
SHEET 3 OF 6



**LIGHTHOUSE SECTION
W/ REMOVED TOP**

SCALE: 1" = 4'



NOTE: TIE DOWN ROAD PLATE TO EXISTING ANCHORS IN STONE WALL

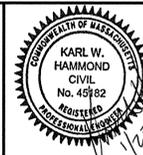
A ROAD PLATE
SCALE: 1" = 2'

ISSUED FOR PERMITTING

REVISIONS				REVISIONS			
NO.	DATE	BY	DESCRIPTION	NO.	DATE	BY	DESCRIPTION
A							

**PALMERS ISLAND LIGHTHOUSE
RESTORATION PROJECT**

NEW BEDFORD HDC
NEW BEDFORD, MA

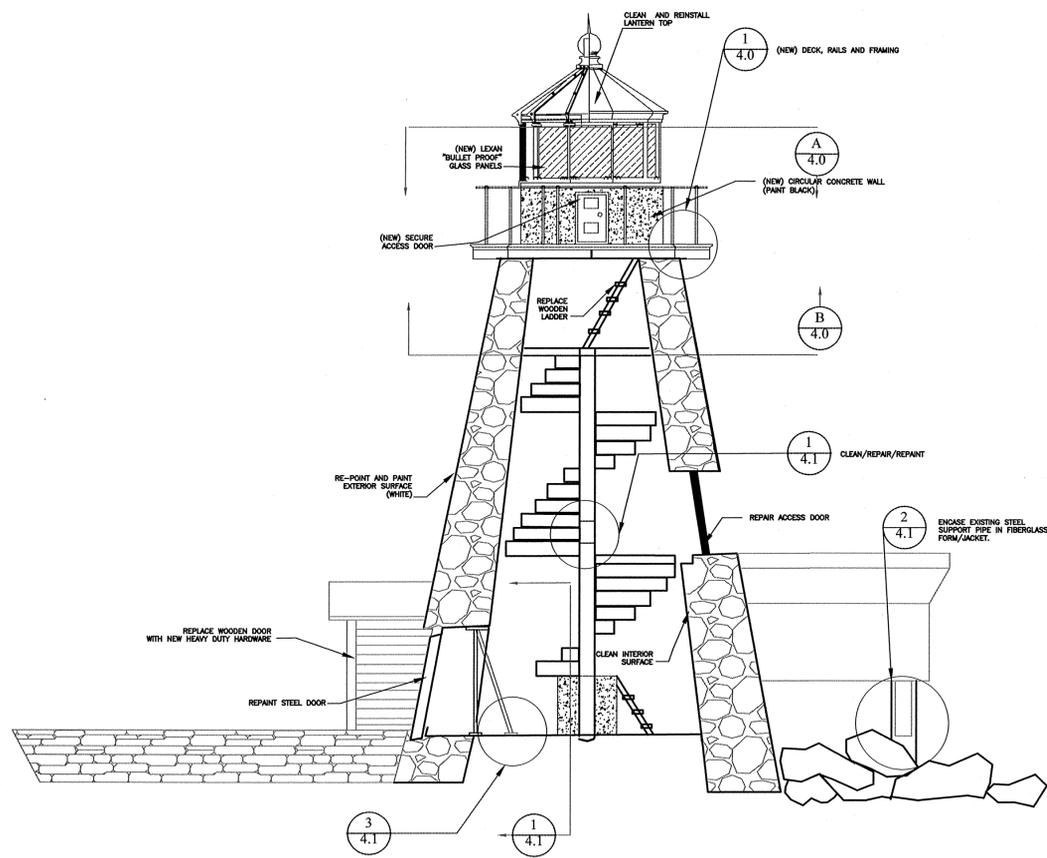


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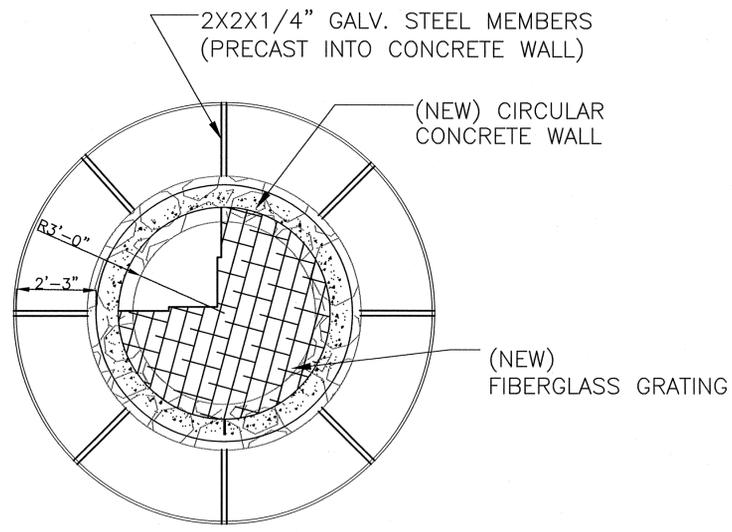
TEMPORARY CONSTRUCTION

DESIGNED BY:	DATE:	DRAWN BY:	DATE:	CHECKED BY:	DATE:
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CONST. REV.:	DATE:	APPROVED BY:	DATE:	CHECKED BY:	DATE:

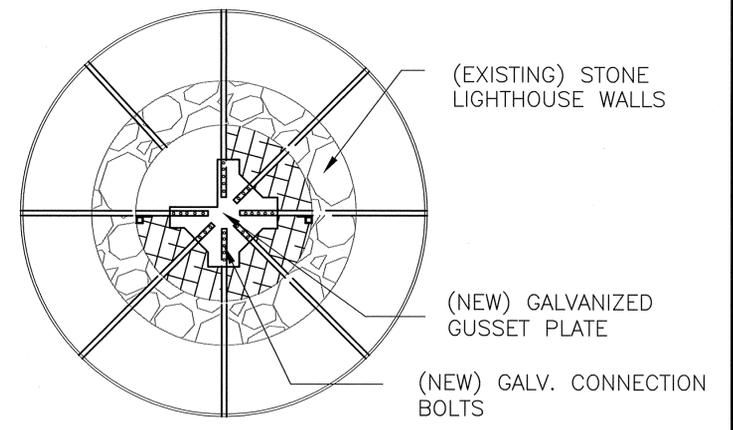
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DWG. NO. **3.0**
SHEET 4 OF 8



LIGHTHOUSE SECTION
SCALE: 1" = 4'

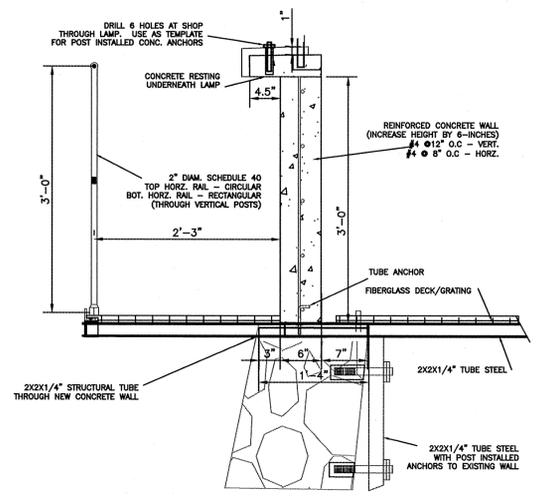


A DECK AND RAILING (TOP)
SCALE: 3/4" = 1'



B DECK AND RAILING (BOT.)
SCALE: 3/4" = 1'

NOTE: DECK GRATING NOT SHOWN FOR CLARITY

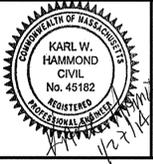


1 PROPOSED RAILING DETAIL
SCALE: 1" = 1'

ISSUED FOR PERMITTING

REVISIONS				REVISIONS			
NO.	DATE	BY	DESCRIPTION	NO.	DATE	BY	DESCRIPTION
A							

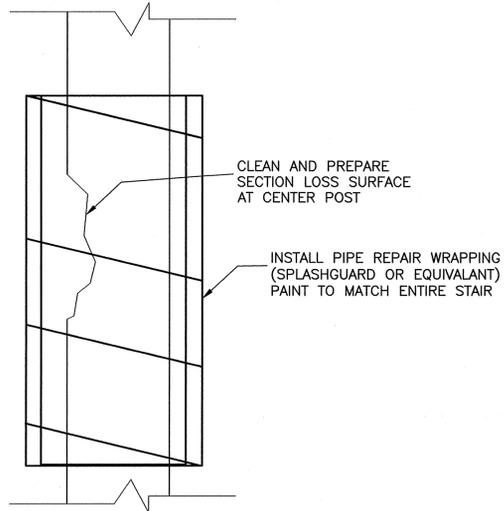
PALMERS ISLAND LIGHTHOUSE RESTORATION PROJECT
NEW BEDFORD HDC
NEW BEDFORD, MA



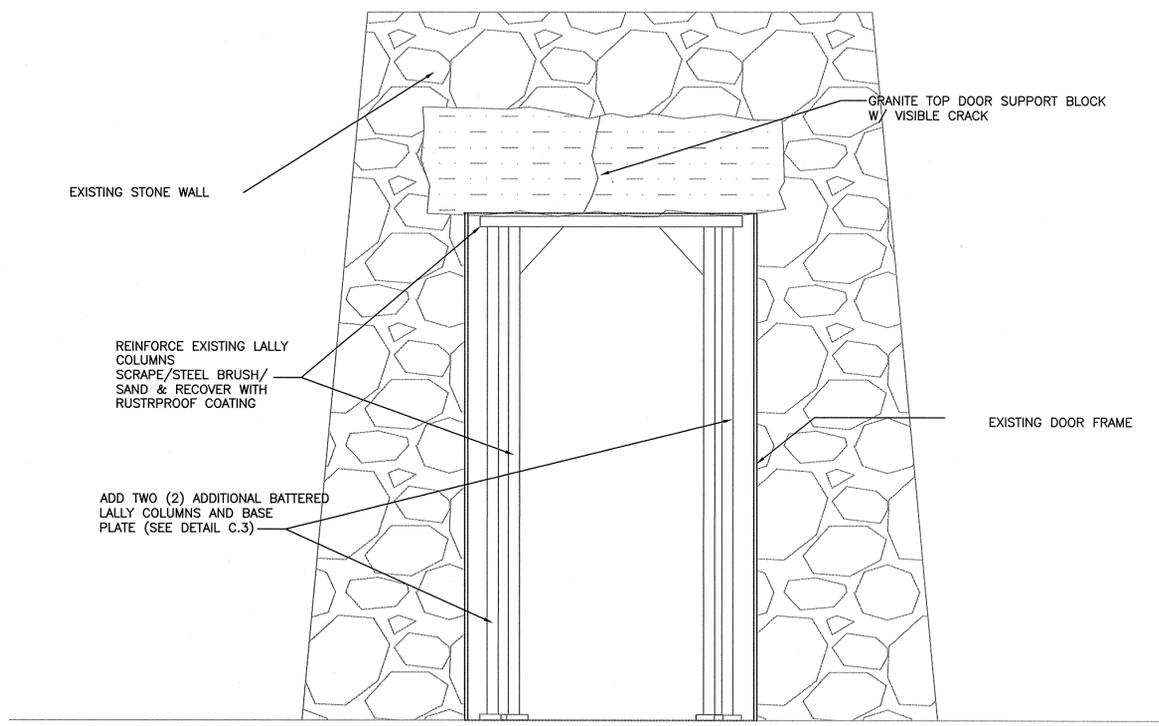
PARE CORPORATION
ENGINEERS - SCIENTISTS - PLANNERS
10 LINCOLN ROAD, SUITE 103
FOXBORO, MA 02035
508-543-1755

PROPOSED REPAIRS (SECTIONS AND DETAILS)							
DESIGNED BY:	DATE:	DRAWN BY:	DATE:	CHECKED BY:	DATE:		
LSP	1/27/14	LSP	1/27/14	LSP	1/27/14		
CONST. REV.:	DATE:	APPROVED BY:	DATE:	CHECKED BY:	DATE:		

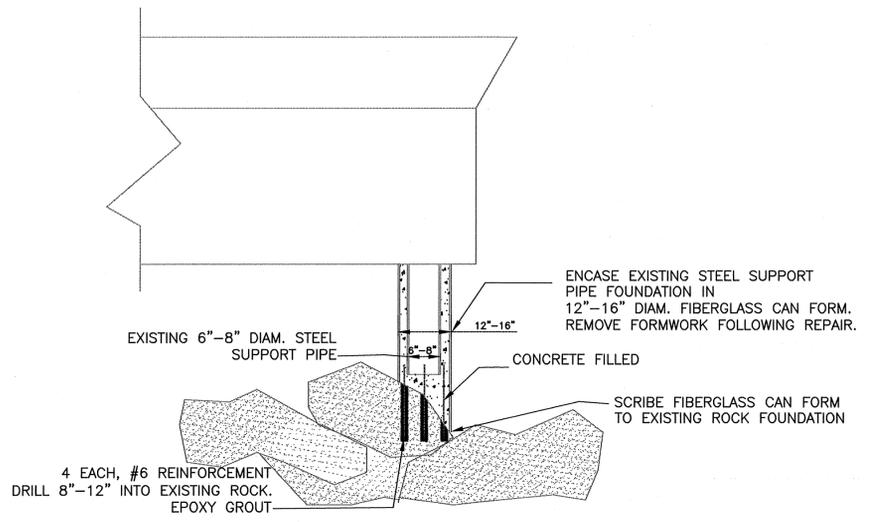
SCALE: AS NOTED
PROJ. NO. 09036.01
DWG. NO. 4.0
SHEET 5 OF 6



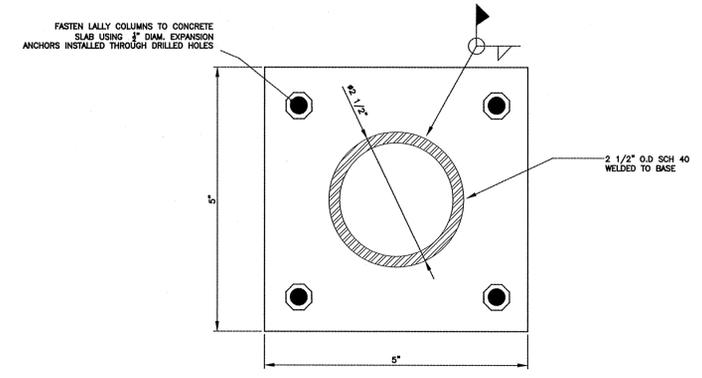
1
4.0 STAIR CENTER POST DETAIL
NTS



1
4.0 MAIN ENTRANCE SECTION
NTS



2
4.0 STEEL SUPPORT DETAIL
NTS



3
4.0 LALLY PLATE DETAIL
SCALE: 1" = 2'

ISSUED FOR PERMITTING

REVISIONS				REVISIONS			
NO.	DATE	BY	DESCRIPTION	NO.	DATE	BY	DESCRIPTION
A							

PALMERS ISLAND LIGHTHOUSE RESTORATION PROJECT

NEW BEDFORD HDC
NEW BEDFORD, MA



PARE CORPORATION
ENGINEERS - SCIENTISTS - PLANNERS
10 LINCOLN ROAD, SUITE 103
FOXBORO, MA 02035
508-543-1755

PROPOSED REPAIRS (SECTIONS AND DETAILS)							
DESIGNED BY:	LSP	DATE:	1/27/14	DRAWN BY:	LSP	DATE:	1/27/14
CONST. REV.:		DATE:		APPROVED BY:		DATE:	
CHECKED BY:	KWH	DATE:	1/27/14	CHECKED BY:		DATE:	

SCALE: AS NOTED
PROJ. NO. 09036.01
DWG. NO. 4.1
SHEET 6 OF 6