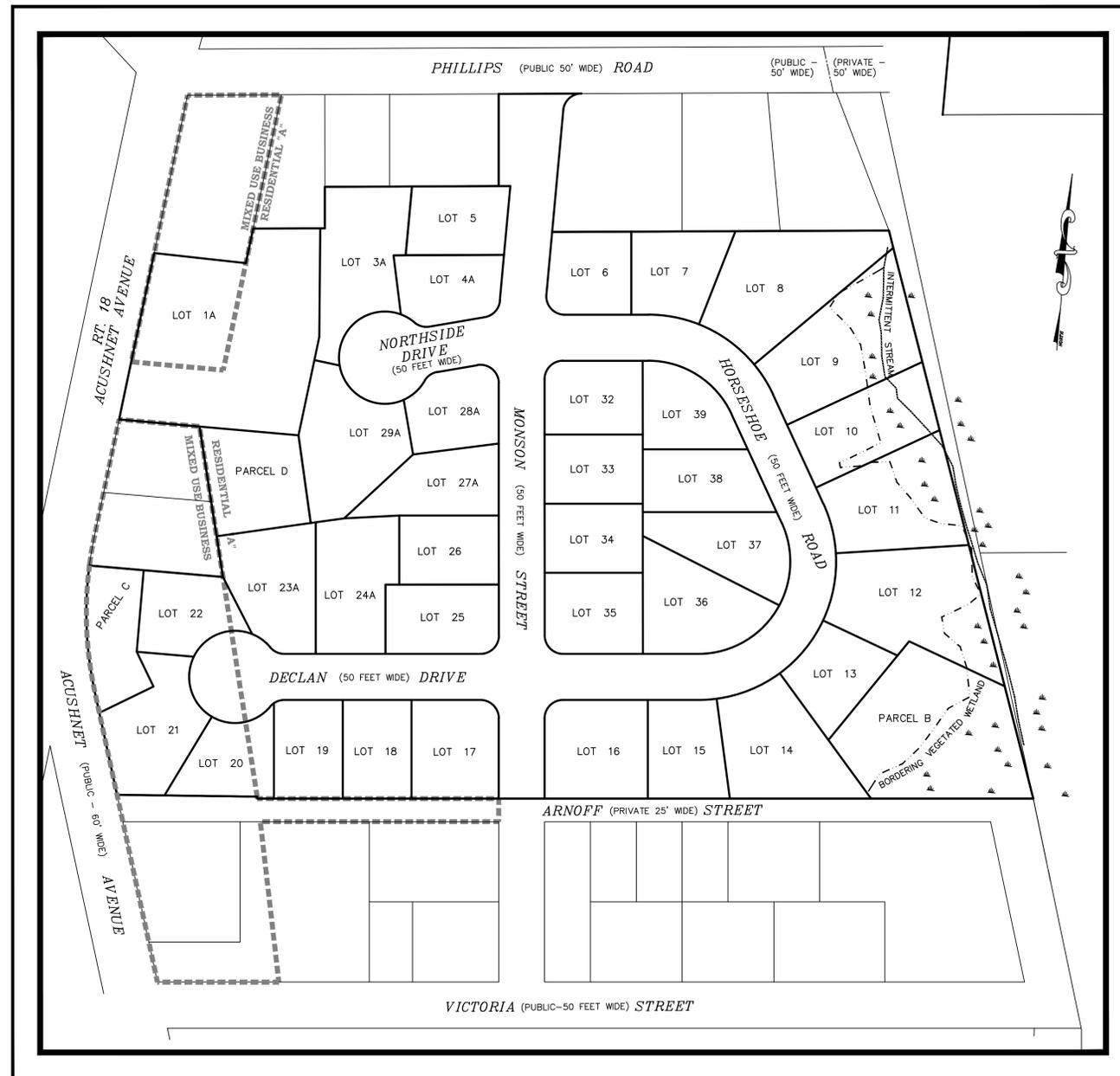


SITE PLAN

TO ACCOMPANY NOTICE OF INTENT

NORTHSIDE FARM

NEW BEDFORD, MA 02745



LOCUS PLAN:
SCALE: 1" = 80'

SITE SUMMARY:

OWNER/APPLICANT: NEW BEDFORD COUSINS LLC
P.O. BOX 36
SCITUATE, MA 02066

ASSESSORS INFORMATION: MAP 130 BLOCK D LOTS
117, 379-387, 392-419

ZONING DISTRICT: RESIDENTIAL A & MIXED
USE BUSINESS

SHEET INDEX:

- TITLE SHEET - TS (SHEET 1 OF 10)
- EXISTING CONDITIONS - EC (SHEET 2 OF 10)
- GRADING & DRAINAGE - GD (SHEET 3 OF 10)
- DRAINAGE LAYOUT - DL (SHEET 4 OF 10)
- ROADWAY PROFILE 1 - RPI (SHEET 5 OF 10)
- ROADWAY PROFILE 2 - RPII (SHEET 6 OF 10)
- ROADWAY PROFILE 3 - RPIII (SHEET 7 OF 10)
- DETAIL SHEET I - DTI (SHEET 8 OF 10)
- DETAIL SHEET II - DTII (SHEET 9 OF 10)
- DETAIL SHEET III - DTIII (SHEET 10 OF 10)

DRAWING REVISIONS		
REVISION	DATE	DESCRIPTION
1	4/12/16	NITSCH COMMENTS

GENERAL NOTES:

- THE SUBJECT PARCEL IS SHOWN AS LOTS 117, 379-387 AND 392-419 ON THE CITY OF NEW BEDFORD'S ASSESSOR'S PLAT 130-D.
- THE VERTICAL DATUM IS THE NEW BEDFORD CITY DATUM.
- LOCUS LIES WITHIN ZONE "X" AS SHOWN ON FIRM COMMUNITY PANEL #25005C0383G REVISED JULY 16, 2014
- BORDERING VEGETATED WETLANDS AND INLAND BANK FLAGS WERE SET BY JOHN ZIMMER, P.W.S. IN NOVEMBER 2016.

PLAN REFERENCES:

LAND COURT PLAN #23553-A

PLAN BK\PG:

- 146\104
- 133\34
- 130\30
- 128\79
- 121\138
- 121\110
- 96\23
- 85\07
- 82\70
- 19\49

BOARD OF SURVEY PLAN #'S:
24, 39, 39B, 39C, 80

MASS HIGHWAY DEPT. FIELD BOOK #'S:
23040 & 27586

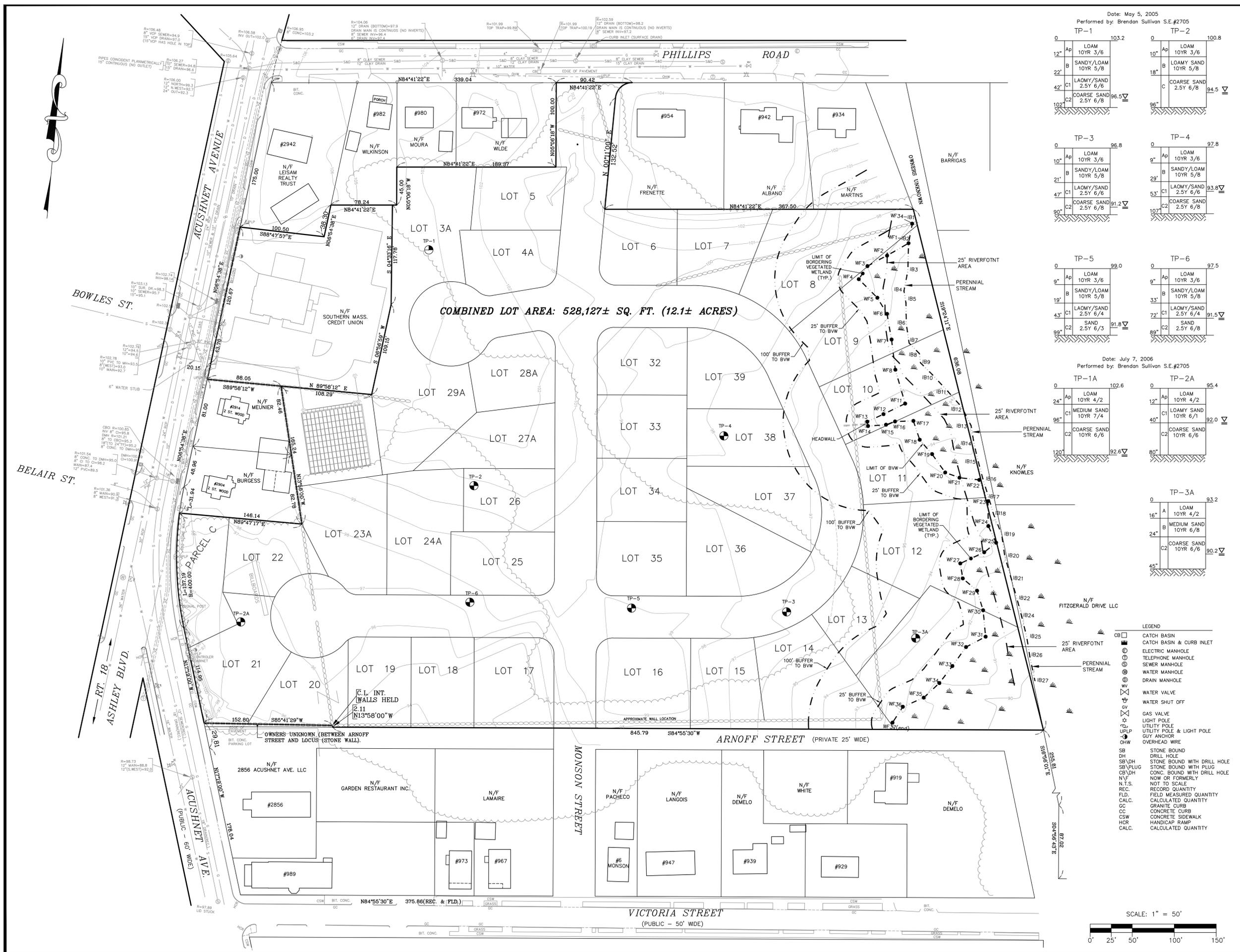


**PLAN TO
ACCOMPANY
NOTICE OF INTENT
NORTHSIDE FARM
TITLE
SHEET**

CAVANARO CONSULTING
687 MAIN STREET
P.O. BOX 5175
NORWELL, MASSACHUSETTS 02061
PHONE: 781.659.8187
FAX: 781.659.8186

OWNER/APPLICANT:
NEW BEDFORD COUSINS LLC
P.O. BOX 36
SCITUATE, MA 02066

PROJECT NO. : 5005	DRAWING NO.
SCALE : AS SHOWN	TS
DATE : 3/3/16	
DESIGNED BY : BPS	
DRAWN BY : BPS	SHEET NO. 1 OF 10
CHECKED BY : JCC	FILENAME: Z:\5005\DWG\NOI\NORTHSIDE FARM NOI



Date: May 5, 2005
Performed by: Brendan Sullivan S.E.#2705

TP-1		TP-2	
0	LOAM 10YR 3/6	0	LOAM 10YR 3/6
12"	SANDY/LOAM 10YR 5/8	10"	LOAMY SAND 10YR 5/8
22"	LAOMY/SAND 2.5Y 6/6	18"	COARSE SAND 2.5Y 6/8
42"	COARSE SAND 2.5Y 6/8	96"	
102"		96"	

TP-3		TP-4	
0	LOAM 10YR 3/6	0	LOAM 10YR 3/6
10"	SANDY/LOAM 10YR 5/8	9"	SANDY/LOAM 10YR 5/8
21"	LAOMY/SAND 2.5Y 6/6	29"	LAOMY/SAND 2.5Y 6/6
47"	COARSE SAND 2.5Y 6/8	53"	COARSE SAND 2.5Y 6/8
90"		107"	

TP-5		TP-6	
0	LOAM 10YR 3/6	0	LOAM 10YR 3/6
9"	SANDY/LOAM 10YR 5/8	9"	SANDY/LOAM 10YR 5/8
19"	LAOMY/SAND 2.5Y 6/4	33"	LAOMY/SAND 2.5Y 6/4
43"	SAND 2.5Y 6/3	72"	SAND 2.5Y 6/3
99"		89"	

Date: July 7, 2006
Performed by: Brendan Sullivan S.E.#2705

TP-1A		TP-2A	
0	LOAM 10YR 4/2	0	LOAM 10YR 4/2
24"	MEDIUM SAND 10YR 7/4	12"	LOAMY SAND 10YR 6/1
96"	COARSE SAND 10YR 6/6	40"	COARSE SAND 10YR 6/6
120"		80"	

TP-3A	
0	LOAM 10YR 4/2
16"	MEDIUM SAND 10YR 6/8
24"	COARSE SAND 10YR 6/6
45"	

DRAWING REVISIONS

1	4/12/16	NITSCH COMMENTS
ACTION	DATE	DESCRIPTION

OWNER OF RECORD:
NEW BEDFORD COUSINS LLC
P.O. BOX 36
SCITUATE, MA 02066
DEED BOOK: 7734, PAGE: 340

GENERAL NOTES:

- THE VERTICAL DATUM IS THE NEW BEDFORD CITY DATUM.
- UTILITIES LOCATIONS AS SHOWN RESULT FROM A FIELD SURVEY AS WELL AS COMPILED RECORD INFORMATION.
- LOCUS LIES WITHIN ZONE "X" AS SHOWN ON FIRM COMMUNITY PANEL #2500C0383G PANEL 383 OF 550 REVISED JULY 16, 2014.
- BORDERING VEGETATED WETLANDS FLAGS AND INTERMITTENT STREAM FLAGS WERE SET BY JOHN ZIMMER, P.E. IN NOVEMBER 2015.
- A COMPLETE ENCROACHMENT SURVEY WAS NOT PERFORMED AT THIS TIME.

PLAN REFERENCES:
LAND COURT PLAN #23553-A
PLAN BK/PG: 148\104 128\79 96\23
133\34 121\138 85\07
130\30 121\110 82\70
BOARD OF SURVEY PLAN #S: 24, 39, 39B, 39C, 80
MASS HIGHWAY DEPT. FIELD BOOK #S: 23040 & 27586

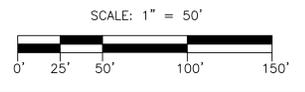
PLAN TO ACCOMPANY NOTICE OF INTENT

NORTHSIDE FARM EXISTING CONDITIONS

CAVANARO CONSULTING
687 MAIN STREET
P.O. BOX 5175
NORWELL, MASSACHUSETTS 02061
PHONE: 781.659.8187
FAX: 781.659.8186

OWNER/APPLICANT:
NEW BEDFORD COUSINS LLC
P.O. BOX 36
SCITUATE, MA 02066

PROJECT NO. : 5005	DRAWING NO.
SCALE : AS SHOWN	EC
DATE : 3/3/16	
DESIGNED BY : BPS	SHEET NO. 2 OF 10
DRAWN BY : BPS	FILENAME:
CHECKED BY : JCC	Z:\3008\LDW\DEFF\ NS E001



DRAWING REVISIONS

ACTION	DATE	DESCRIPTION
1	4/12/16	NITSCH COMMENTS

GENERAL NOTES:

- PROPERTY LINE INFORMATION SHOWN ON THIS PLAN IS BASED ON AN INSTRUMENT SURVEY PERFORMED BY CAVANARO CONSULTING USING INFORMATION COMPILED FROM AVAILABLE ASSESSOR'S MAPS AND RECORDED DEED INFORMATION.
- EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY LOCATION PRIOR TO EARTH REMOVAL.
- PROPOSED GAS SERVICE CONNECTION SHALL BE INSTALLED BY THE LOCAL GAS SERVICE PROVIDER. CONSTRUCTION DETAILS OF THE GAS CONNECTION ARE AVAILABLE AT THE GAS COMPANY.

LEGEND

---	PROPERTY LINE
---	PROPOSED TELEPHONE, ELECTRIC & CABLE
G	EXISTING GAS LINE
G	PROPOSED GAS LINE
W	EXISTING WATER LINE
W	PROPOSED WATER LINE
S	EXISTING SEWER LINE
S	PROPOSED SEWER LINE
D	EXISTING DRAIN LINE
D	PROPOSED DRAIN LINE
⊕	EXISTING HYDRANT
⊕	PROPOSED HYDRANT
⊕	EXISTING WATER VALVE
⊕	PROPOSED WATER VALVE
⊕	EXISTING CATCH BASIN
⊕	PROPOSED CATCH BASIN
⊕	EXISTING DRAIN MANHOLE
⊕	PROPOSED DRAIN MANHOLE
⊕	PROPOSED DRAIN MANHOLE
⊕	TREE LINE
TYP.	TYPICAL
CLDI	CEMENT LINED DUCTILE IRON
TBA	TO BE ABANDONED
⊕	PROPOSED THRUST BLOCK

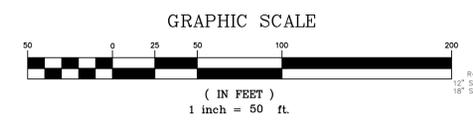
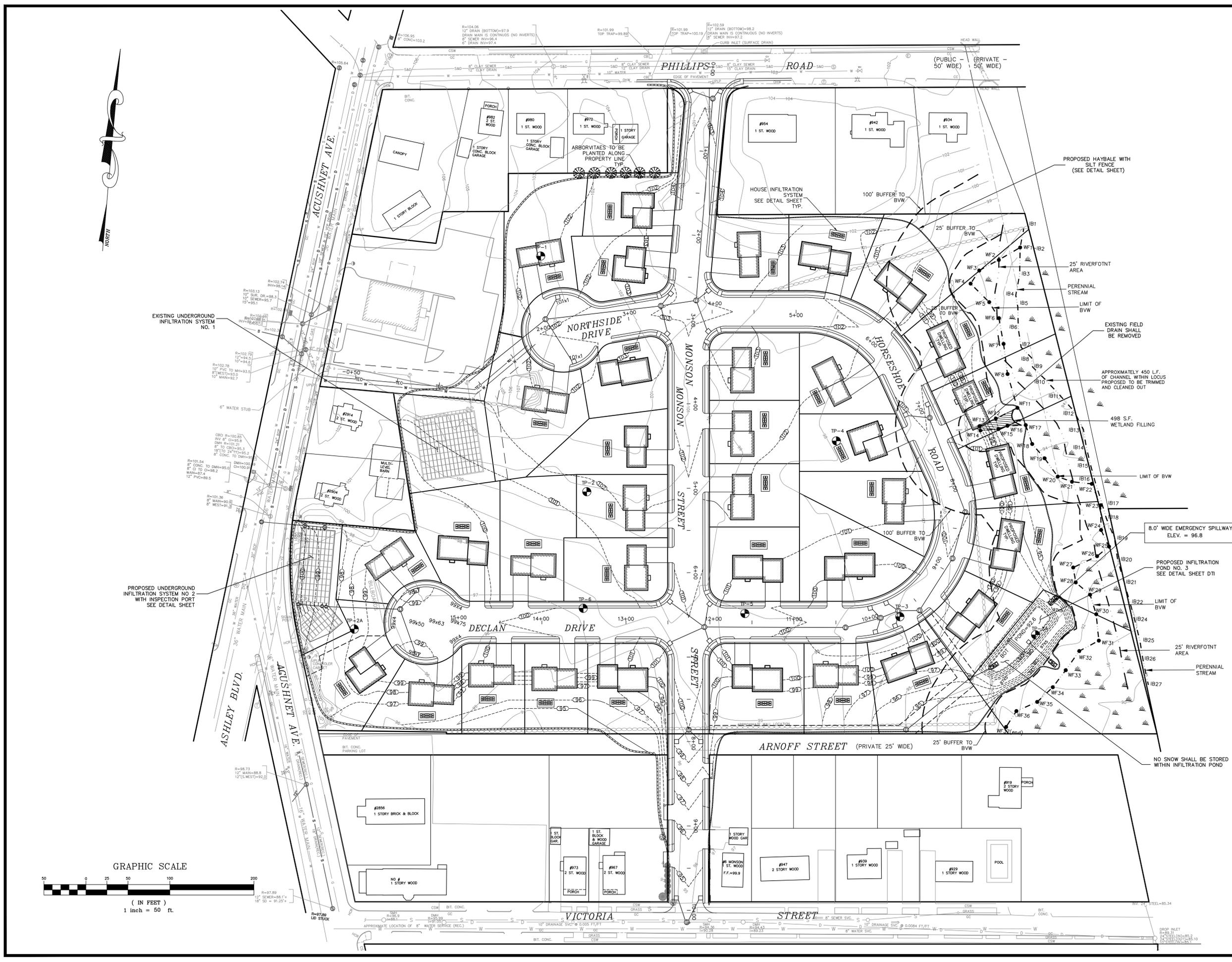


**PLAN TO ACCOMPANY
NOTICE OF INTENT
NORTHSIDE FARM
GRADING &
DRAINAGE**

CAVANARO CONSULTING
687 MAIN STREET
P.O. BOX 5175
NORWELL, MASSACHUSETTS 02061
PHONE: 781.659.8187
FAX: 781.659.8186

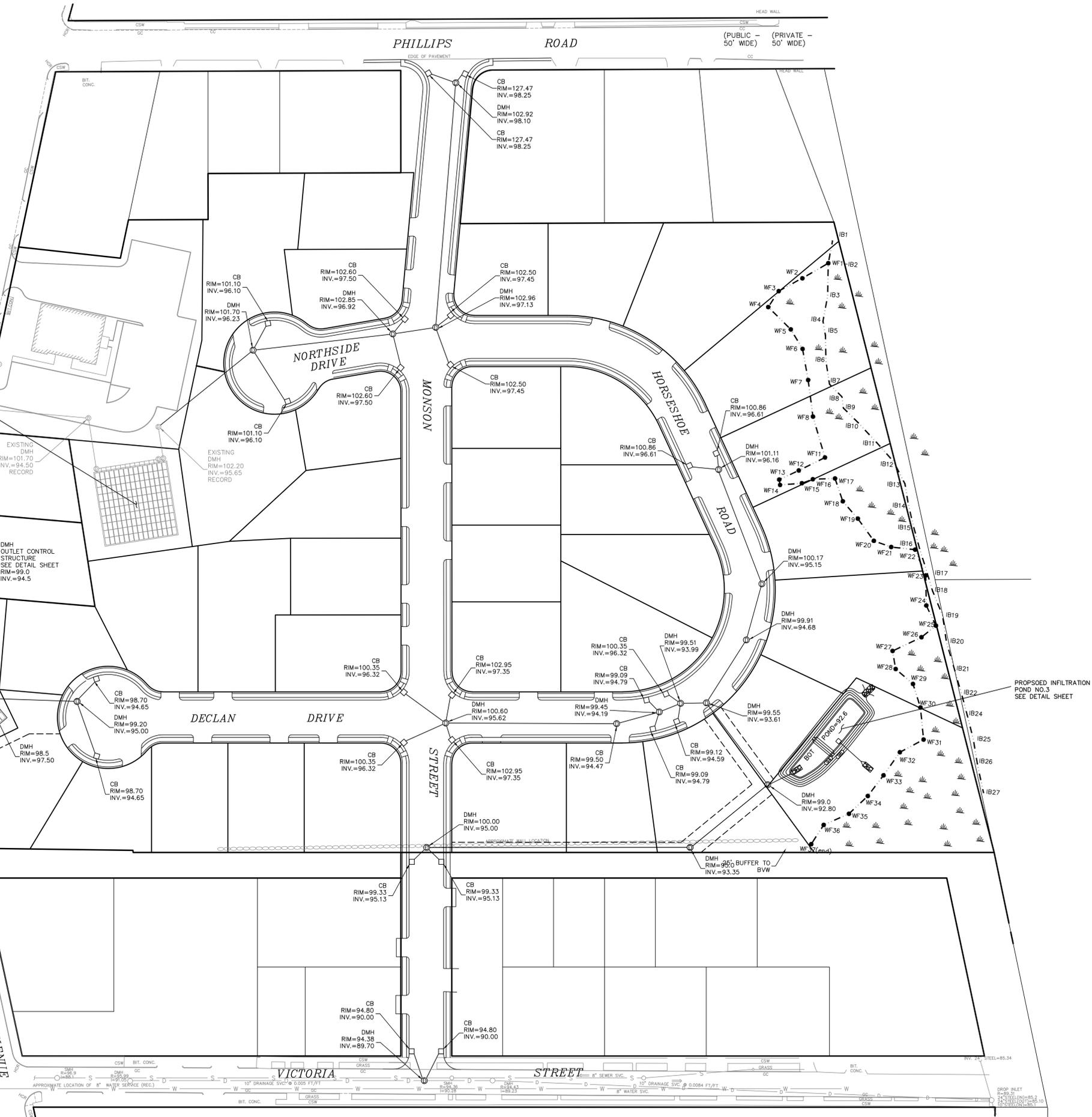
OWNER/APPLICANT:
NEW BEDFORD COUSINS LLC
P.O. BOX 36
SCITUATE, MA 02066

PROJECT NO. : 5005	DRAWING NO.
SCALE : AS SHOWN	GD
DATE : 3/3/16	
DESIGNED BY : BPS	
DRAWN BY : BPS	SHEET NO. 3 OF 10
CHECKED BY : JCC	FILENAME: Z:\5005\DWG\NORTHIDE FARM NOI





EXISTING UNDERGROUND INFILTRATION SYSTEM NO. 1



PROPOSED UNDERGROUND INFILTRATION SYSTEM NO. 2
SEE DETAIL SHEET

ACUSHNET AVE.

DECLAN DRIVE

STREET

VICTORIA STREET

HORSEHOE ROAD

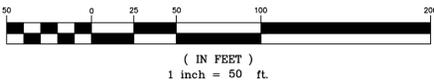
MONSON

NORTHSIDE DRIVE

PHILLIPS ROAD

(PUBLIC - 50' WIDE) (PRIVATE - 50' WIDE)

GRAPHIC SCALE



DRAWING REVISIONS

ACTION	DATE	DESCRIPTION

GENERAL NOTES:

- PROPERTY LINE INFORMATION SHOWN ON THIS PLAN IS BASED ON AN INSTRUMENT SURVEY PERFORMED BY CAVANARO CONSULTING USING INFORMATION COMPILED FROM AVAILABLE ASSESSOR'S MAPS AND RECORDED DEED INFORMATION.
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LEGEND

- PROPERTY LINE
- TEC --- PROPOSED TELEPHONE, ELECTRIC & CABLE
- G --- EXISTING GAS LINE
- G --- PROPOSED GAS LINE
- W --- EXISTING WATER LINE
- W --- PROPOSED WATER LINE
- S --- EXISTING SEWER LINE
- S --- PROPOSED SEWER LINE
- D --- EXISTING DRAIN LINE
- D --- PROPOSED DRAIN LINE
- EXISTING HYDRANT
- PROPOSED HYDRANT
- EXISTING WATER VALVE
- PROPOSED WATER VALVE
- EXISTING CATCH BASIN
- PROPOSED CATCH BASIN
- EXISTING DRAIN MANHOLE
- PROPOSED DRAIN MANHOLE
- TREE LINE
- TYP. TYPICAL
- CLDI CEMENT LINED DUCTILE IRON
- TBA TO BE ABANDONED
- PROPOSED THRUST BLOCK



PLAN TO ACCOMPANY NOTICE OF INTENT NORTHSIDE FARM DRAINAGE LAYOUT

CAVANARO CONSULTING
687 MAIN STREET
P.O. BOX 5175
NORWELL, MASSACHUSETTS 02061
PHONE: 781.659.8187
FAX: 781.659.8186

OWNER/APPLICANT:
NEW BEDFORD COUSINS LLC
P.O. BOX 36
SCITUATE, MA 02066

PROJECT NO. : 5005	DRAWING NO.
SCALE : AS SHOWN	DL
DATE : 4/12/16	DESIGNED BY : BPS
DRAWN BY : BPS	SHEET NO. 4 OF 10
CHECKED BY : JCC	FILENAME: Z:\5005\DWG\NOI\NORTHSIDE FARM NOI

DRAWING REVISIONS

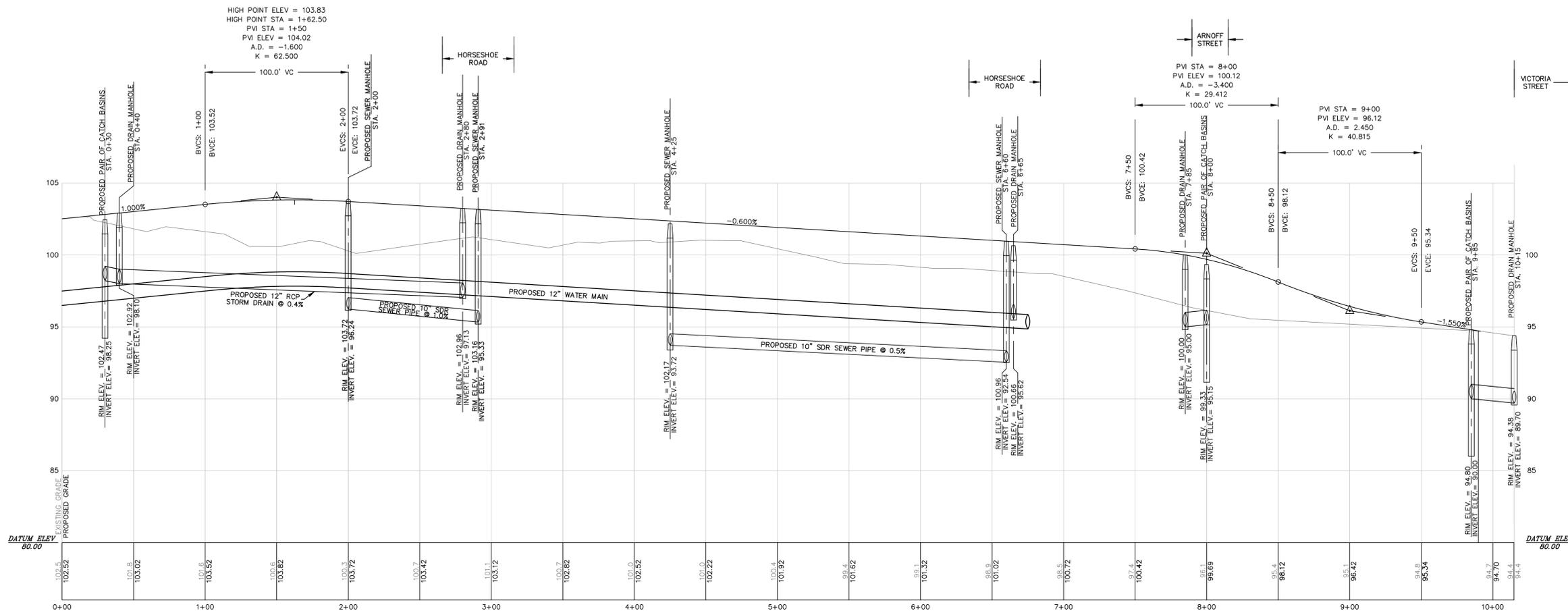
ACTION	DATE	DESCRIPTION
1	4/12/16	NITSCH COMMENTS

GENERAL NOTES:

- PROPERTY LINE INFORMATION SHOWN ON THIS PLAN IS BASED ON AN INSTRUMENT SURVEY PERFORMED BY CAVANARO CONSULTING USING INFORMATION COMPILED FROM AVAILABLE ASSESSOR'S MAPS AND RECORDED DEED INFORMATION.
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- PROPOSED WATER SERVICE CONNECTION SHALL BE TO THE NEAREST MAIN LINE BRANCH IN ACCORDANCE WITH CITY OF NEW BEDFORD WATER DEPARTMENT STANDARDS.
- ALL SANITARY SEWER CONNECTIONS SHALL BE REVIEWED AND APPROVED BY THE CITY OF NEW BEDFORD ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.

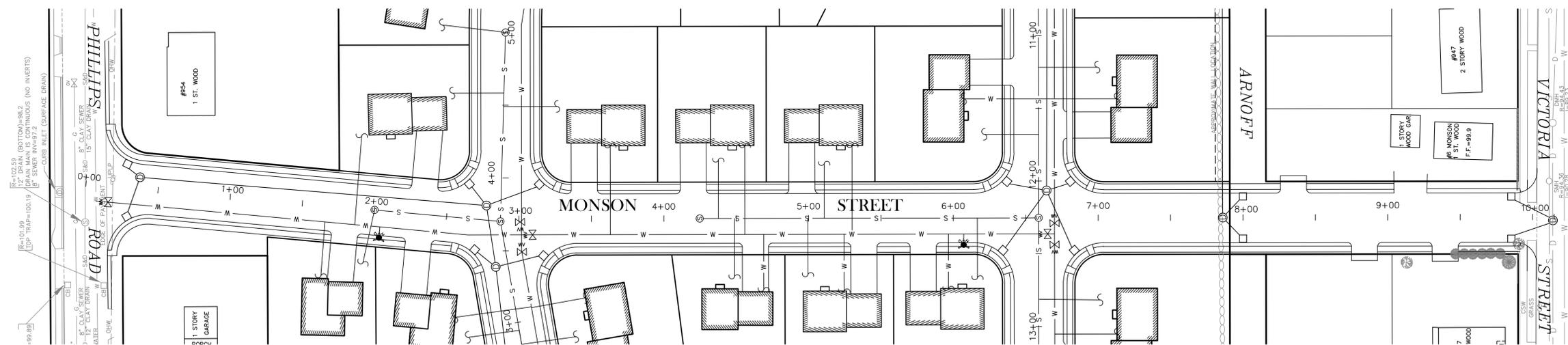
LEGEND

—	PROPERTY LINE
—	PROP. TELEPHONE, ELECTRIC & CABLE
—	EX GAS LINE
—	PROPOSED GAS LINE
—	EX WATER LINE
—	PROPOSED WATER LINE
—	EXISTING SEWER LINE
—	PROPOSED SEWER LINE
—	EXISTING DRAIN LINE
—	PROPOSED DRAIN LINE
⊙	EXISTING HYDRANT
⊙	PROPOSED HYDRANT
⊙	EXISTING WATER VALVE
⊙	PROPOSED WATER VALVE
⊙	EXISTING CATCH BASIN
⊙	PROPOSED CATCH BASIN
⊙	EXISTING DRAIN MANHOLE
⊙	PROPOSED DRAIN MANHOLE
—	TREE LINE
TYP.	TYPICAL



PROFILE - MONSON STREET

SCALE
 HORIZONTAL 1" = 40'
 VERTICAL 1" = 4'



PLAN - MONSON STREET

SCALE
 1" = 40'

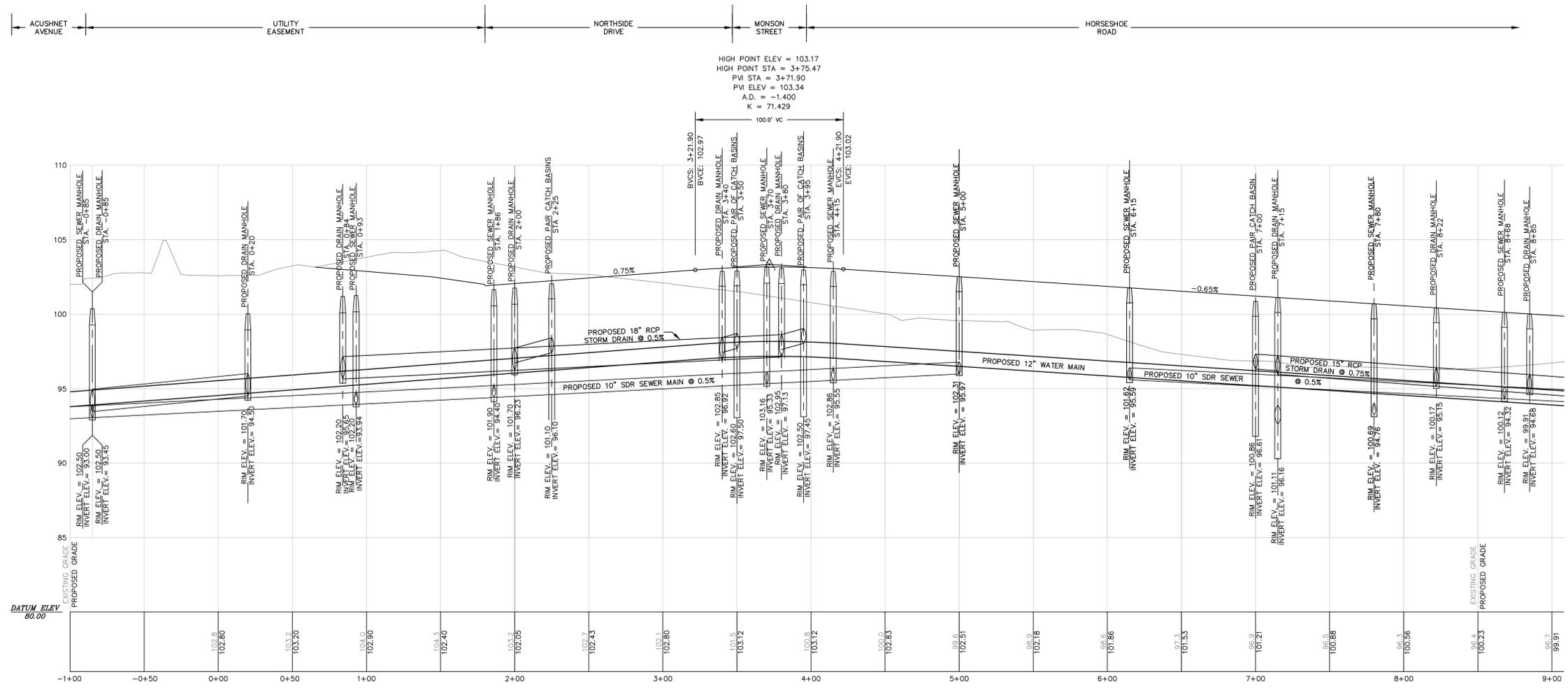


PLAN TO ACCOMPANY NOTICE OF INTENT NORTHSIDE FARM ROADWAY PROFILE 1

CAVANARO CONSULTING
 687 MAIN STREET
 P.O. BOX 5175
 NORWELL, MASSACHUSETTS 02061
 PHONE: 781.659.8187
 FAX: 781.659.8186

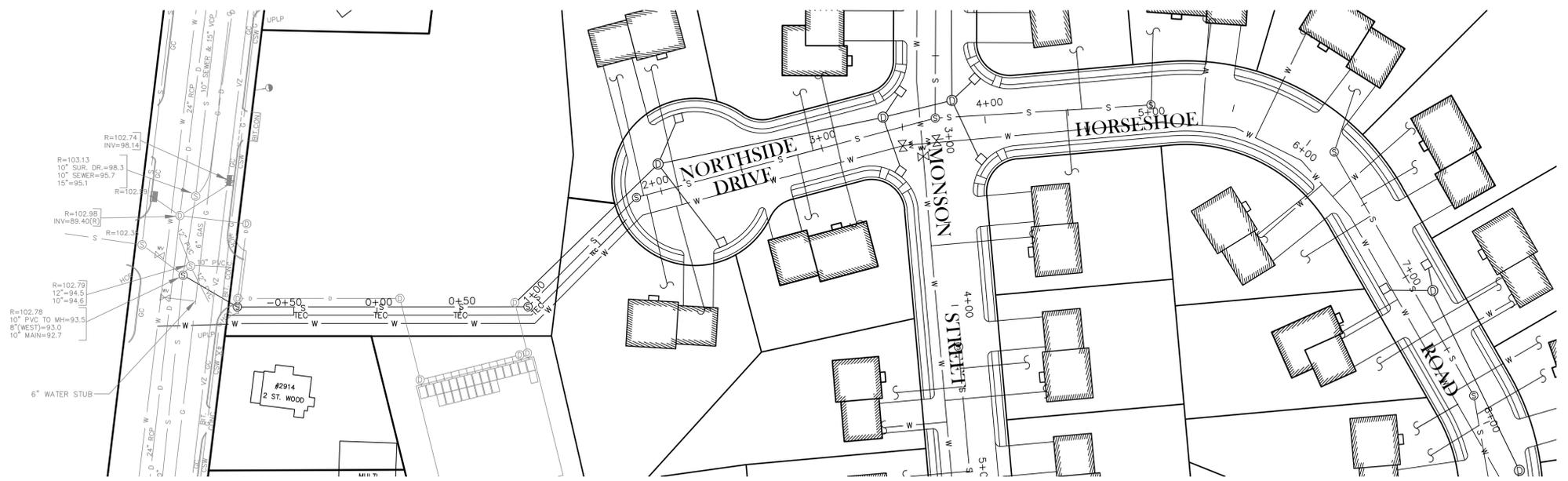
OWNER/APPLICANT:
 NEW BEDFORD COUSINS
 P.O. BOX 36
 SCITUATE, MA 02066

PROJECT NO. : 5005	DRAWING NO.
SCALE : AS SHOWN	RP1
DATE : 3/3/16	
DESIGNED BY : BPS	
DRAWN BY : BPS	SHEET NO. 5 OF 10
CHECKED BY : JCC	FILENAME: Z:\5005\DWG\NOI\NORTHSIDE FARM NOI



PROFILE - NORTHSIDE DRIVE & HORSESHOE ROAD

SCALE
HORIZONTAL 1" = 40'
VERTICAL 1" = 4'



PLAN - NORTHSIDE DRIVE & HORSESHOE ROAD

SCALE
1" = 40'

DRAWING REVISIONS		
ACTION	DATE	DESCRIPTION
1	4/12/16	NITSC COMMENTS

- GENERAL NOTES:**
- PROPERTY LINE INFORMATION SHOWN ON THIS PLAN IS BASED ON AN INSTRUMENT SURVEY PERFORMED BY CAVANARO CONSULTING USING INFORMATION COMPILED FROM AVAILABLE ASSESSOR'S MAPS AND RECORDED DEED INFORMATION.
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 - ALL SANITARY SEWER CONNECTIONS SHALL BE REVIEWED AND APPROVED BY THE CITY OF NEW BEDFORD ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.

LEGEND

—	PROPERTY LINE
—	PROP. TELEPHONE, ELECTRIC & CABLE
—	EX GAS LINE
—	PROPOSED GAS LINE
—	EX WATER LINE
—	PROPOSED WATER LINE
—	EXISTING SEWER LINE
—	PROPOSED SEWER LINE
—	EXISTING DRAIN LINE
—	PROPOSED DRAIN LINE
⊙	EXISTING HYDRANT
⊙	PROPOSED HYDRANT
⊙	EXISTING WATER VALVE
⊙	PROPOSED WATER VALVE
⊙	EXISTING CATCH BASIN
⊙	PROPOSED CATCH BASIN
⊙	EXISTING DRAIN MANHOLE
⊙	PROPOSED DRAIN MANHOLE
—	TREE LINE
—	TYP. TYPICAL

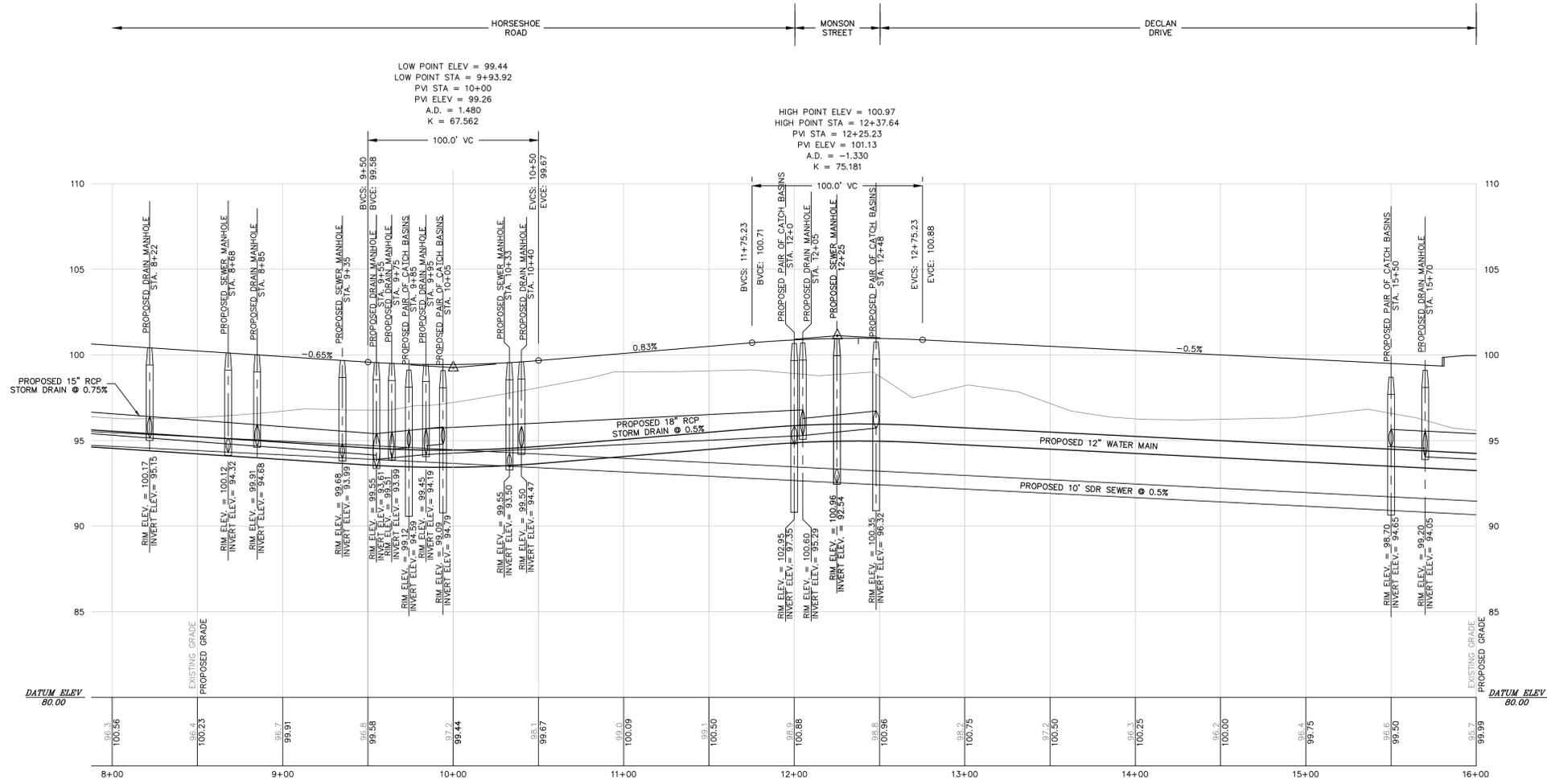


PLAN TO
ACCOMPANY
NOTICE OF INTENT
NORTHSIDE FARM
ROADWAY
PROFILE 2

CAVANARO CONSULTING
687 MAIN STREET
P.O. BOX 5175
NORWELL, MASSACHUSETTS 02061
PHONE: 781.659.8187
FAX: 781.659.8186

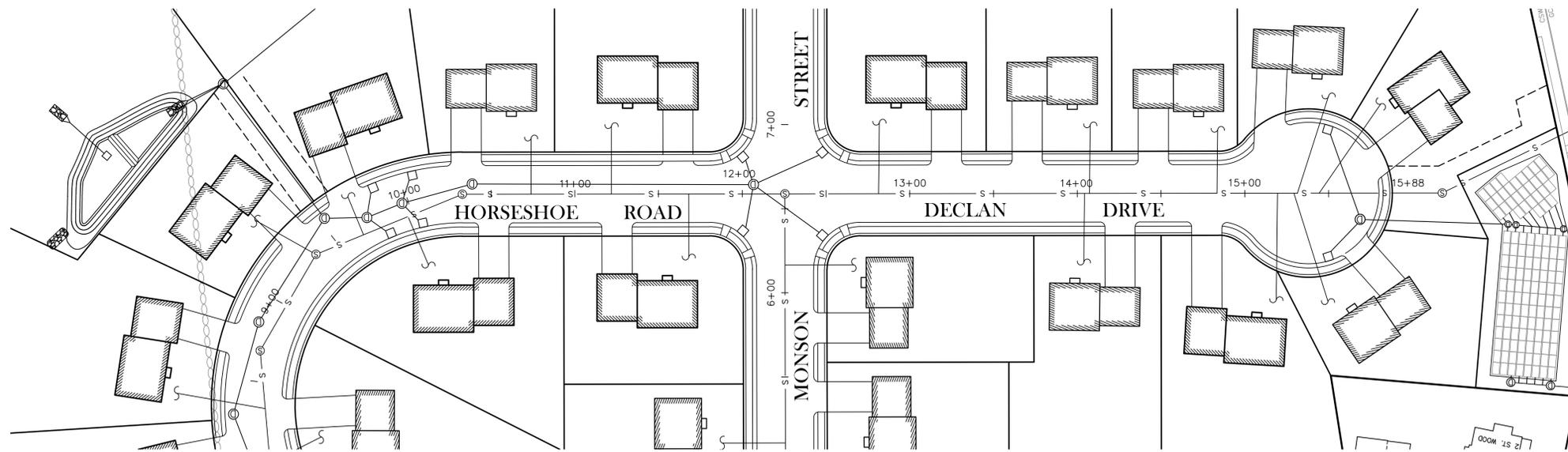
OWNER/APPLICANT:
NEW BEDFORD COUSINS LLC
P.O. BOX 36
SCITUATE, MA 02066

PROJECT NO. : 5005	DRAWING NO.
SCALE : AS SHOWN	RP2
DATE : 3/3/16	
DESIGNED BY : BPS	
DRAWN BY : BPS	SHEET NO. 6 OF 10
CHECKED BY : JCC	FILENAME: Z:\5005\DWG\NO\NORTHSIDE FARM NOI



PROFILE - HORSESHOE ROAD & DECLAN DRIVE

SCALE
HORIZONTAL 1" = 40'
VERTICAL 1" = 4'



PLAN - HORSESHOE ROAD & DECLAN DRIVE

SCALE
1" = 40'

DRAWING REVISIONS

NO.	DATE	DESCRIPTION
1	4/12/16	NITSCH COMMENTS

GENERAL NOTES:

- PROPERTY LINE INFORMATION SHOWN ON THIS PLAN IS BASED ON AN INSTRUMENT SURVEY PERFORMED BY CAVANARO CONSULTING USING INFORMATION COMPILED FROM AVAILABLE ASSESSOR'S MAPS AND RECORDED DEED INFORMATION.
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- ALL SANITARY SEWER CONNECTIONS SHALL BE REVIEWED AND APPROVED BY THE CITY OF NEW BEDFORD ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.

LEGEND

—	PROPERTY LINE
—	PROP. TELEPHONE, ELECTRIC & CABLE
—	EX GAS LINE
—	PROPOSED GAS LINE
—	EX WATER LINE
—	PROPOSED WATER LINE
—	EXISTING SEWER LINE
—	PROPOSED SEWER LINE
—	EXISTING DRAIN LINE
—	PROPOSED DRAIN LINE
⊙	EXISTING HYDRANT
⊙	PROPOSED HYDRANT
⊙	EXISTING WATER VALVE
⊙	PROPOSED WATER VALVE
⊙	EXISTING CATCH BASIN
⊙	PROPOSED CATCH BASIN
⊙	EXISTING DRAIN MANHOLE
⊙	PROPOSED DRAIN MANHOLE
—	TREE LINE
TYP.	TYPICAL

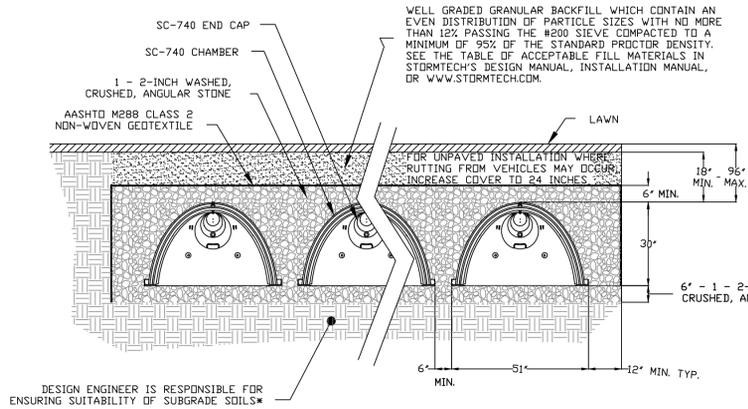


PLAN TO
ACCOMPANY
NOTICE OF INTENT
NORTHSIDE FARM
ROADWAY
PROFILE 3

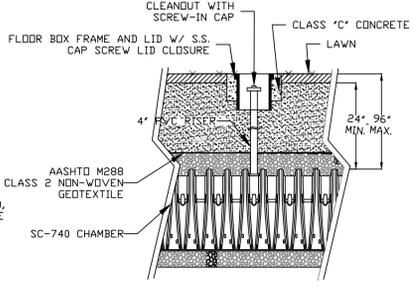
CAVANARO CONSULTING
687 MAIN STREET
P.O. BOX 5175
NORWELL, MASSACHUSETTS 02061
PHONE: 781.659.8187
FAX: 781.659.8186

OWNER/APPLICANT:
NEW BEDFORD COUSINS LLC
P.O. BOX 36
SCITUATE, MA 02066

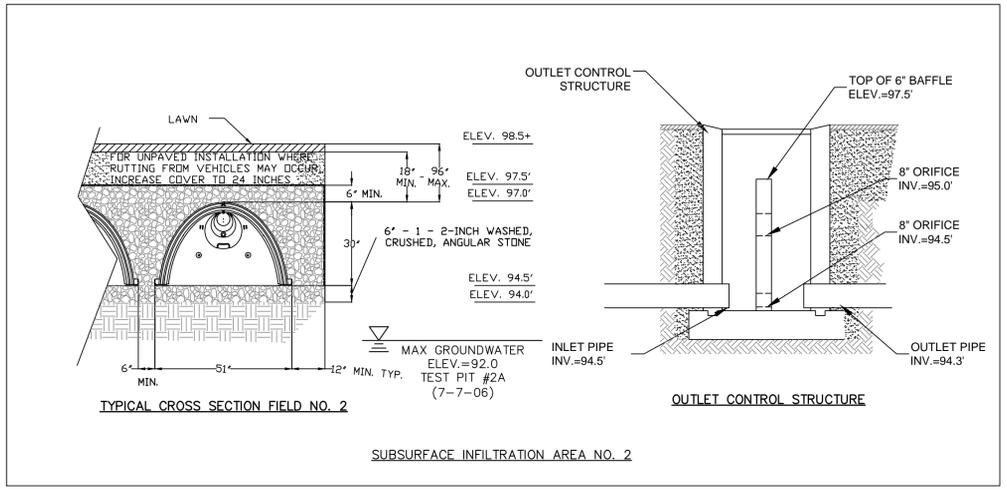
PROJECT NO. : 5005	DRAWING NO.
SCALE : AS SHOWN	RP3
DATE : 3/3/16	
DESIGNED BY : BPS	SHEET NO. 7 OF 10
DRAWN BY : BPS	FILENAME:
CHECKED BY : JCC	Z:\5005\DWG\VD\NORTHSIDE FARM.ND



**STORMTECH SC-740 CHAMBER SYSTEM
TYPICAL CROSS SECTION DETAIL**
NOT TO SCALE



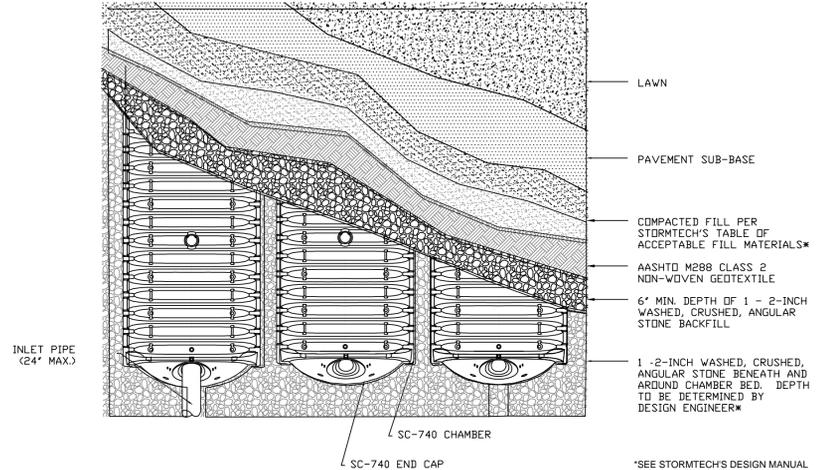
**STORMTECH SC-740 CHAMBER SYSTEM
INSPECTION PORT DETAIL**
NOT TO SCALE



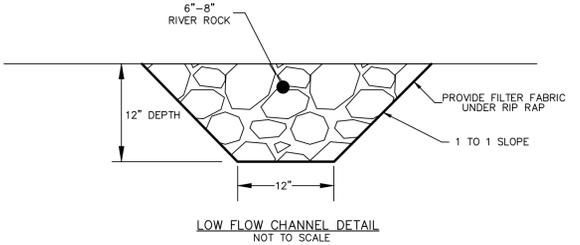
TYPICAL CROSS SECTION FIELD NO. 2

OUTLET CONTROL STRUCTURE

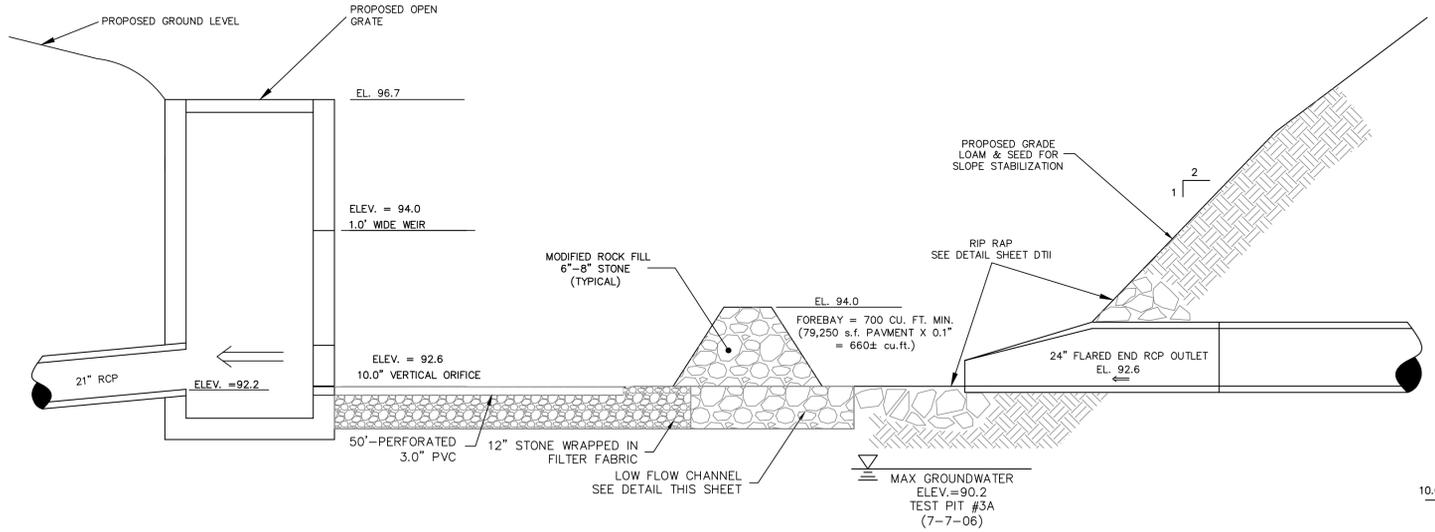
SUBSURFACE INFILTRATION AREA NO. 2



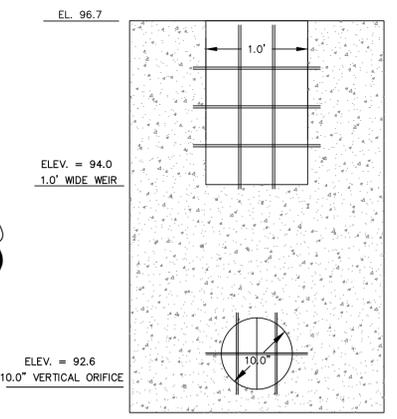
**STORMTECH SC-740 CHAMBER SYSTEM
PLAN VIEW DETAIL**
NOT TO SCALE



LOW FLOW CHANNEL DETAIL
NOT TO SCALE



INFILTRATION POND 3 - CROSS SECTION
NOT TO SCALE



DRAINAGE STRUCTURE - FRONT VIEW
NOT TO SCALE

INFILTRATION POND DETAILS

**Stormwater Operation and Maintenance Plan
Northside Farm Subdivision-New Bedford, MA**

As part of any infrastructure improvement the system must be maintained in order to work properly. The following is an operation and maintenance plan to upkeep the proposed non-structural and structural best performance practices as outlined in the Massachusetts Department of Environmental Protection's Stormwater Management policy and in accordance with the approved design drawings.

Street Sweeping

All streets and sidewalks shall be swept at a minimum once a year and after a major storm event to remove pollutants which can accumulate on road and sidewalks.

Catch Basin Cleaning

All catch basins shall be cleaned and inspected in late winter or early spring after the snow melts. Inspections should include the gutter inlet stone, frame and grate, pipe, structure itself and the trap for damage and or repair.

Detention Basins

All detention basins shall be inspected at least once a year to ensure that the basins are operating as intended. Inspections conducted at intervals during and after storm events will help to determine if the basin is meeting the expected detention times. The outlet structure should be inspected for evidence of clogging or outflow release velocities that are greater than design flow. Potential problems that should be checked include: subsidence, erosion, cracking or tree growth on the embankment; damage to the emergency spillway; sediment accumulation around the outlet; inadequacy of the inlet/outlet channel erosion control measures and erosion within the basin and banks. Any necessary repairs should be made immediately. During inspections, changes to the detention basin or the contributing watershed should be noted, as these may affect basin performance.

The upper-stage side slopes, embankment and emergency spillway should be mowed at least twice a year. Trash and debris should also be removed at this time. Sediment should be removed from the basin as necessary, and at least once every five years.

Dry Wells

Dry wells should be inspected after every major storm event in the first few months after construction to ensure proper stabilization and function. Thereafter, the dry well should be inspected once a year.

DRAWING REVISIONS		
ACTION	DATE	DESCRIPTION
1	4/12/16	NITSCH COMMENTS

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 - ALL SANITARY SEWER CONNECTIONS SHALL BE REVIEWED AND APPROVED BY THE CITY OF NEW BEDFORD ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.

LEGEND

—	PROPERTY LINE
—	PROP. TELEPHONE, ELECTRIC & CABLE
—	EX GAS LINE
—	PROPOSED GAS LINE
—	EX WATER LINE
—	PROPOSED WATER LINE
—	EXISTING SEWER LINE
—	PROPOSED SEWER LINE
—	EXISTING DRAIN LINE
—	PROPOSED DRAIN LINE
⊙	EXISTING HYDRANT
⊙	PROPOSED HYDRANT
⊙	EXISTING WATER VALVE
⊙	PROPOSED WATER VALVE
□	EXISTING CATCH BASIN
□	PROPOSED CATCH BASIN
⊙	EXISTING DRAIN MANHOLE
⊙	PROPOSED DRAIN MANHOLE
—	TREE LINE
—	TYPICAL

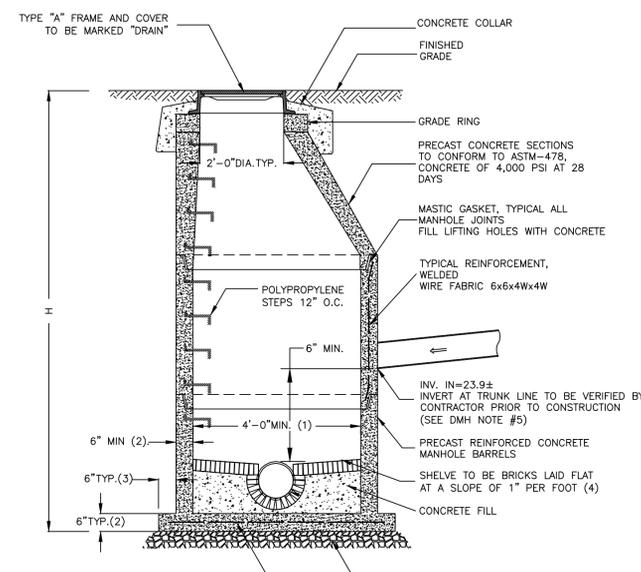
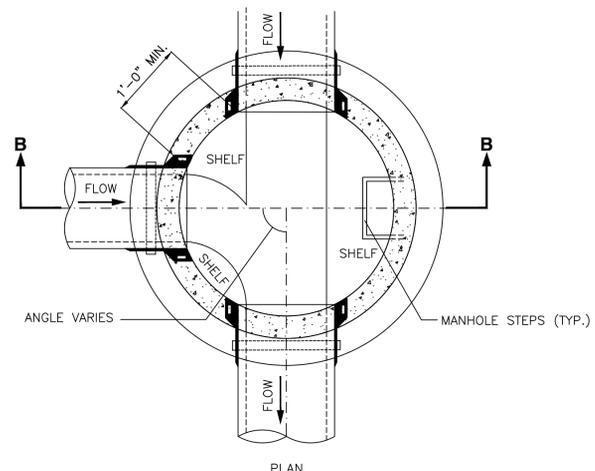


**PLAN TO
ACCOMPANY
NOTICE OF INTENT
NORTHSIDE FARM
DETAIL
SHEET I**

CAVANARO CONSULTING
687 MAIN STREET
P.O. BOX 5175
NORWELL, MASSACHUSETTS 02061
PHONE: 781.659.8187
FAX: 781.659.8186

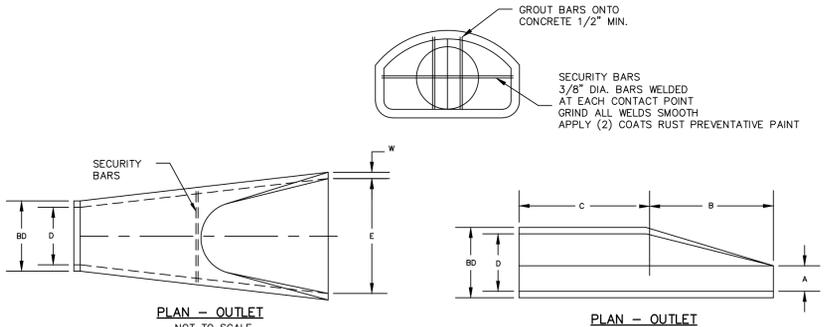
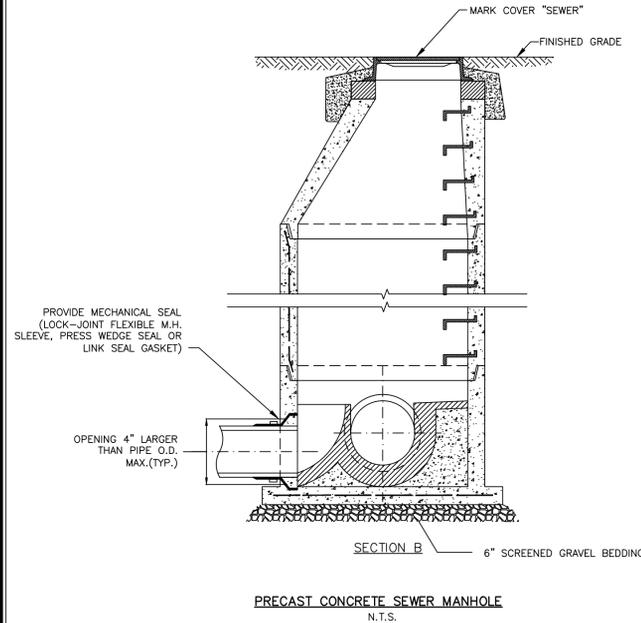
OWNER/APPLICANT:
NEW BEDFORD COUSINS LLC
P.O. BOX 36
SCITUATE, MA 02066

PROJECT NO. : 5005	DRAWING NO.
SCALE : AS SHOWN	DTI
DATE : 3/3/16	SHEET NO. 8 OF 10
DESIGNED BY : BPS	FILENAME:
DRAWN BY : BPS	Z:\5005\DWG\NOI\NORTHSIDE FARM NOI
CHECKED BY : JCC	



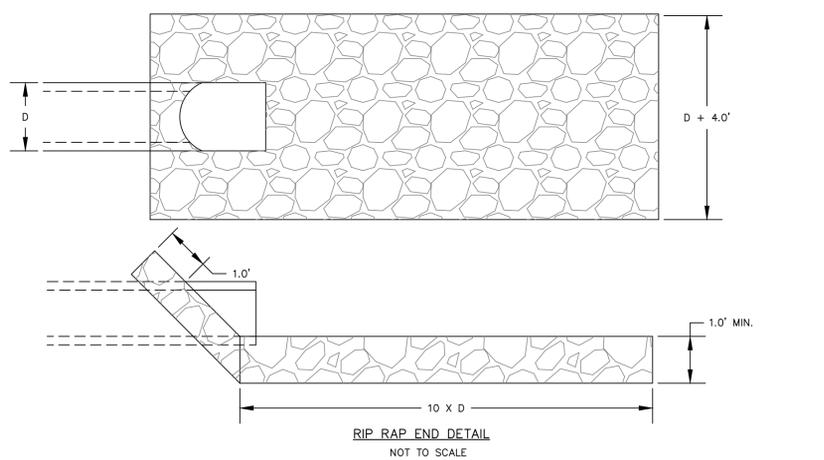
H = 10' OR LESS - #4 AT 18 EW MIDDEPTH
 H = 10' TO 20' - #4 AT 12 EW MIDDEPTH
 H = 20' TO 30' - #5 AT 12 EW MIDDEPTH
 IN ADDITION TO WELDED WIRE FABRIC

- DRAINAGE MANHOLE NOTES:**
- 5'-0" DIAMETER FOR ALL MANHOLE DEPTHS GREATER THAN 20 FEET OR WHEN ORDERED BY THE ENGINEER.
 - 6" MIN. WALL THICKNESS AND 7 INCH MIN. BASE THICKNESS WITH 5'-0" DIAMETER MANHOLES.
 - 6 INCH LIP OPTIONAL UNLESS OTHERWISE NOTED.
 - CONCRETE INVERT AND SHELF MAY BE SUBSTITUTED IN STORM DRAIN MANHOLES AS DIRECTED BY THE ENGINEER.

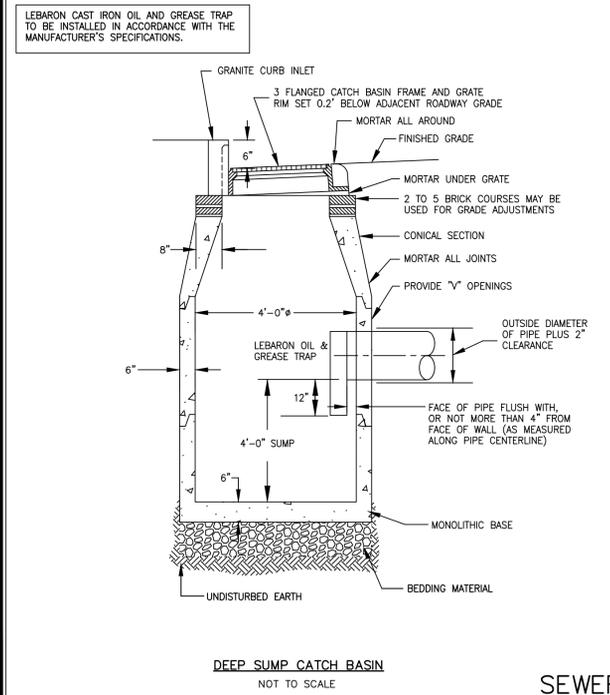


DIAMETER	FLARED END DIMENSIONS						
	A	B	BD	C	D	E	W
12"	4"	2"	1.7'	4'	4.5'	2.0'	2'
24"	9.5"	3.6"	3.0'	2.5'	3.0'	4.0'	3'

PRECAST CONCRETE FLARED END DETAIL
NOT TO SCALE

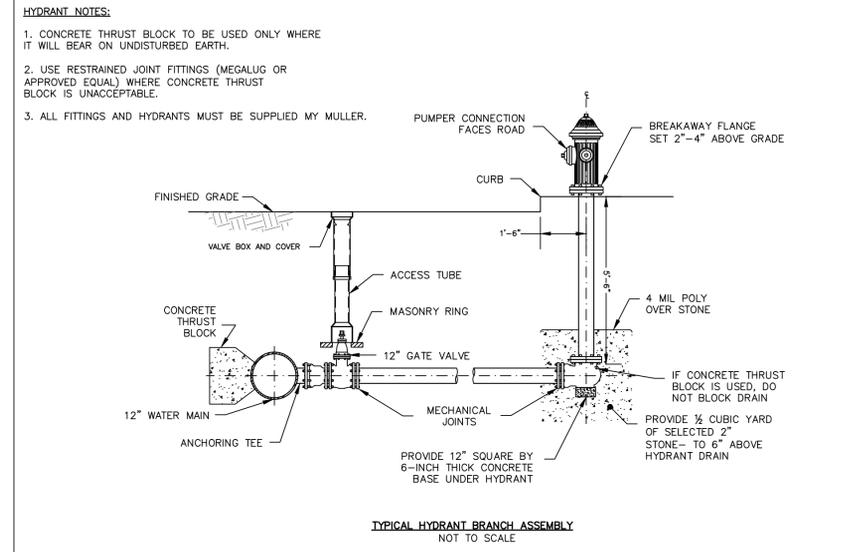


RIP RAP END DETAIL
NOT TO SCALE

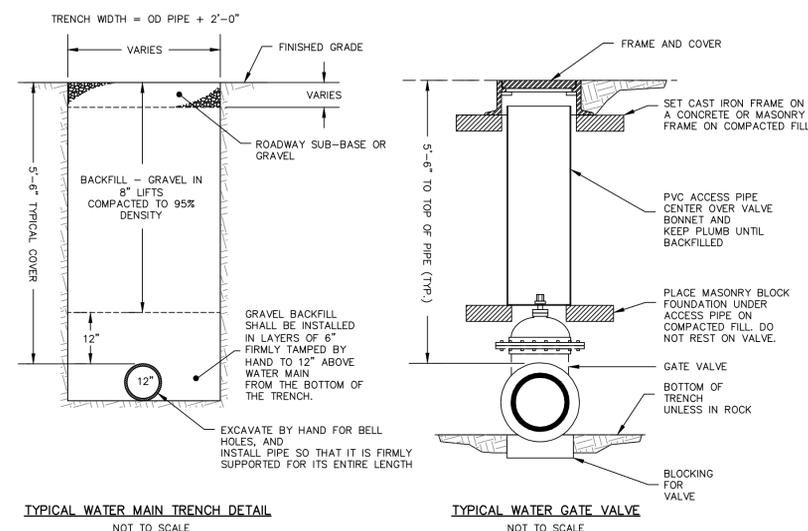


DEEP SUMP CATCH BASIN
NOT TO SCALE

SEWER AND DRAINAGE DETAILS

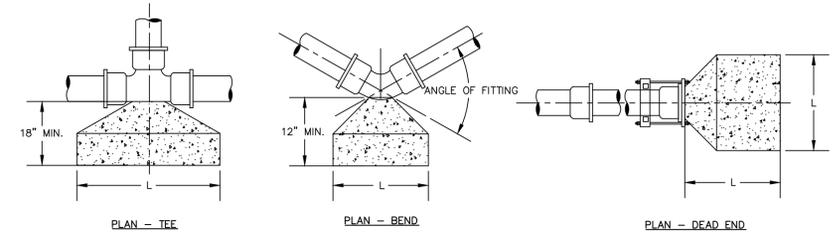


TYPICAL HYDRANT BRANCH ASSEMBLY
NOT TO SCALE



TYPICAL WATER MAIN TRENCH DETAIL
NOT TO SCALE

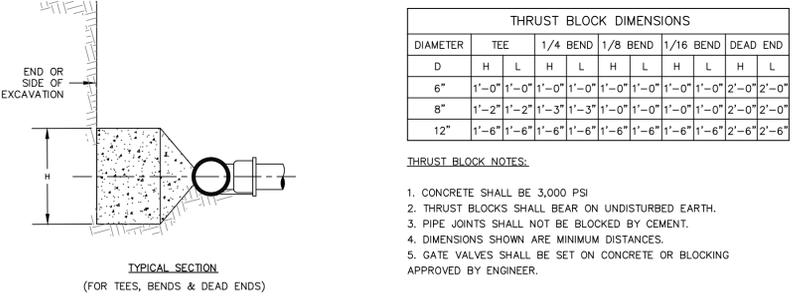
TYPICAL WATER GATE VALVE
NOT TO SCALE



PLAN - TEE

PLAN - BEND

PLAN - DEAD END



TYPICAL SECTION
(FOR TEES, BENDS & DEAD ENDS)

DIAMETER	THRUST BLOCK DIMENSIONS									
	TEE		1/4 BEND		1/8 BEND		1/16 BEND		DEAD END	
D	H	L	H	L	H	L	H	L	H	L
6"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	2'-0"	2'-0"
8"	1'-2"	1'-2"	1'-3"	1'-3"	1'-0"	1'-0"	1'-0"	1'-0"	2'-0"	2'-0"
12"	1'-6"	1'-6"	1'-6"	1'-6"	1'-6"	1'-6"	1'-6"	1'-6"	2'-6"	2'-6"

- THRUST BLOCK NOTES:**
- CONCRETE SHALL BE 3,000 PSI
 - THRUST BLOCKS SHALL BEAR ON UNDISTURBED EARTH.
 - PIPE JOINTS SHALL NOT BE BLOCKED BY CEMENT.
 - DIMENSIONS SHOWN ARE MINIMUM DISTANCES.
 - GATE VALVES SHALL BE SET ON CONCRETE OR BLOCKING APPROVED BY ENGINEER.

CONCRETE THRUST BLOCKS
NOT TO SCALE

WATER LINE DETAILS

DRAWING REVISIONS		
ACTION	DATE	DESCRIPTION
1	4/12/16	NITSCH COMMENTS

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LEGEND

—	PROPERTY LINE
—	PROP. TELEPHONE, ELECTRIC & CABLE
—	EX GAS LINE
—	PROPOSED GAS LINE
—	EX WATER LINE
—	PROPOSED WATER LINE
—	EXISTING SEWER LINE
—	PROPOSED SEWER LINE
—	EXISTING DRAIN LINE
—	PROPOSED DRAIN LINE
⊙	EXISTING HYDRANT
⊙	PROPOSED HYDRANT
⊙	EXISTING WATER VALVE
⊙	PROPOSED WATER VALVE
⊙	EXISTING CATCH BASIN
⊙	PROPOSED CATCH BASIN
⊙	EXISTING DRAIN MANHOLE
⊙	PROPOSED DRAIN MANHOLE
—	TREE LINE
TYP.	TYPICAL

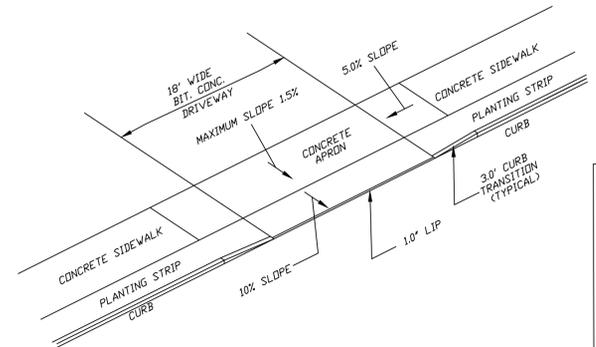


PLAN TO ACCOMPANY NOTICE OF INTENT NORTHSIDE FARM DETAIL SHEET II

CAVANARO CONSULTING
 687 MAIN STREET
 P.O. BOX 5175
 NORWELL, MASSACHUSETTS 02061
 PHONE: 781.659.8187
 FAX: 781.659.8186

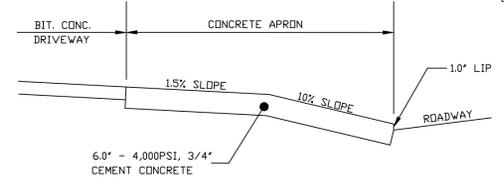
OWNER/APPLICANT:
 NEW BEDFORD COUSINS LLC
 P.O. BOX 36
 SCITUATE, MA 02066

PROJECT NO. : 5005	DRAWING NO.
SCALE : AS SHOWN	DTII
DATE : 3/3/16	
DESIGNED BY : BPS	SHEET NO. 9 OF 10
DRAWN BY : BPS	FILENAME:
CHECKED BY : JCC	2:\5005\DWG\16\NORTHSIDE FARM NOI

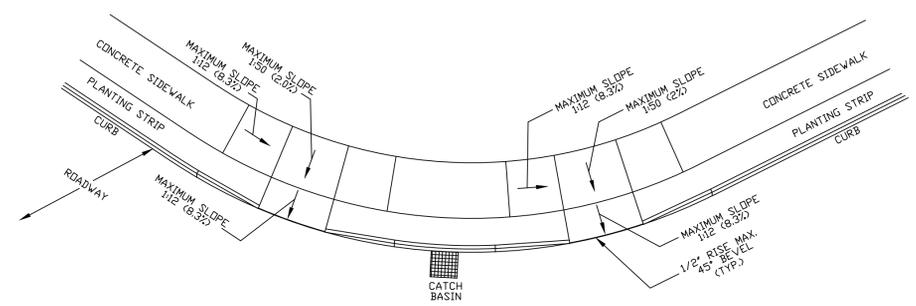


CONCRETE SIDEWALK NOTES:

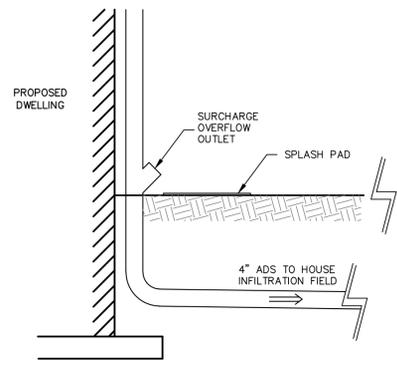
1. SIDEWALKS SHALL BE 4,000 PSI 3/4" CEMENT CONCRETE.
2. CONCRETE SHALL BE 4.0" IN DEPTH AND 6.0" IN DEPTH AT DRIVEWAY LOCATIONS.
3. THE CONCRETE SHALL BE PLACED IN ALTERNATE SLABS 30 FEET IN LENGTH AND SEPARATED BY TRANSVERSE PREFORMED EXPANSION JOINT FILLER 1/2" IN THICKNESS.
4. ALL SIDEWALKS AND WHEELCHAIR RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH A.D.A AND THE CITY OF NEW BEDFORD STANDARDS.



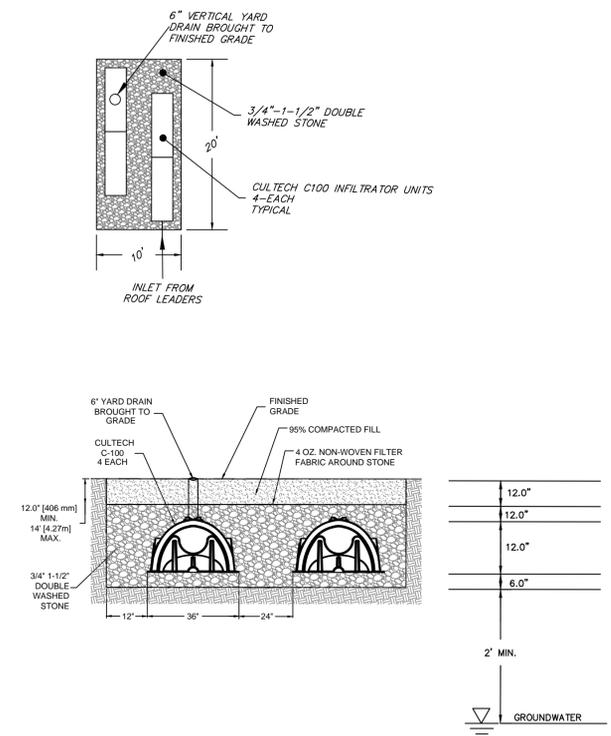
DRIVEWAY TYPICAL DETAIL
NOT TO SCALE



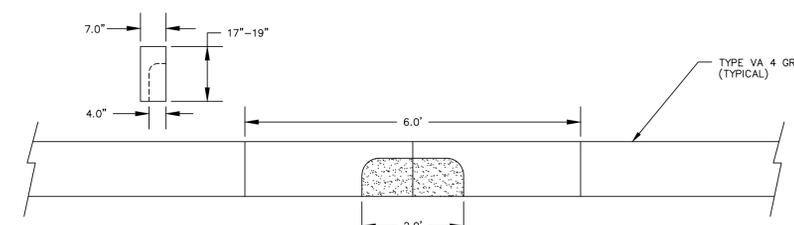
WHEELCHAIR RAMP TYPICAL DETAIL
NOT TO SCALE



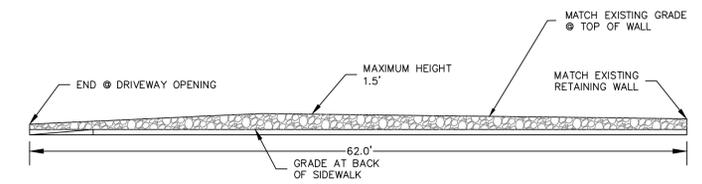
TYPICAL HOUSE INFILTRATION BED - PLAN VIEW
NOT TO SCALE



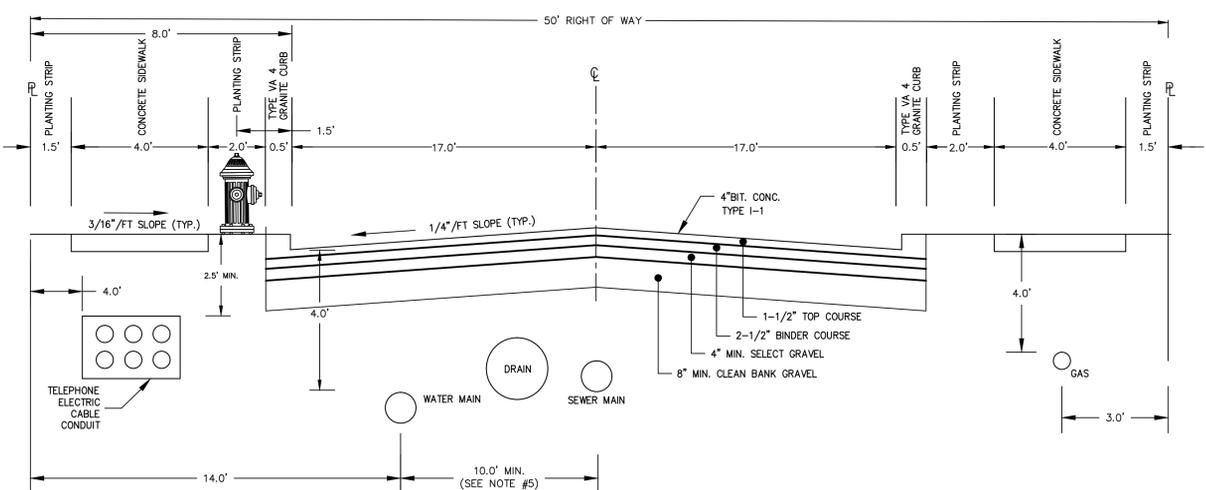
TYPICAL HOUSE INFILTRATION BED - CROSS SECTION
NOT TO SCALE



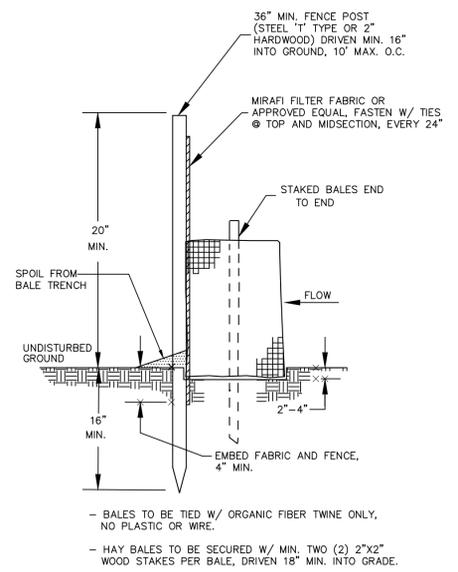
GRANITE CURB INLET DETAIL
NOT TO SCALE
TO BE LOCATED AT EACH CATCH BASIN LOCATION



FIELD STONE MASONRY RETAINING WALL
AT STATION 9+25± TO 9+90± LEFT MONSON STREET
NOT TO SCALE
- FIELD STONE MASONRY RETAINING WALL SHALL BE CONSTRUCTED AS PER MASSACHUSETTS HIGHWAY DEPARTMENT DRAWING NO. 302.2



TYPICAL ROADWAY SECTION
NOT TO SCALE



HAYBALE WITH SILT FENCE
NOT TO SCALE

MISCELLANEOUS DETAILS

DRAWING REVISIONS		
ACTION	DATE	DESCRIPTION
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LEGEND

SYMBOL	PROPERTY LINE
TEC	PROP. TELEPHONE, ELECTRIC & CABLE
G	EX GAS LINE
G	PROPOSED GAS LINE
W	EX WATER LINE
W	PROPOSED WATER LINE
S	EXISTING SEWER LINE
S	PROPOSED SEWER LINE
D	EXISTING DRAIN LINE
D	PROPOSED DRAIN LINE
⊙	EXISTING HYDRANT
⊙	PROPOSED HYDRANT
⊙	EXISTING WATER VALVE
⊙	PROPOSED WATER VALVE
⊙	EXISTING CATCH BASIN
⊙	PROPOSED CATCH BASIN
⊙	EXISTING DRAIN MANHOLE
⊙	PROPOSED DRAIN MANHOLE
⊙	TREE LINE
TYP.	TYPICAL



PLAN TO ACCOMPANY NOTICE OF INTENT
NORTHSIDE FARM
DETAIL SHEET III

CAVANARO CONSULTING
687 MAIN STREET
P.O. BOX 5175
NORWELL, MASSACHUSETTS 02061
PHONE: 781.659.8187
FAX: 781.659.8186

OWNER/APPLICANT:
NEW BEDFORD COUSINS LLC
P.O. BOX 36
SCITUATE, MA 02066

PROJECT NO. : 5005	DRAWING NO.
SCALE : AS SHOWN	DTIII
DATE : 3/3/16	
DESIGNED BY : BPS	SHEET NO. 10 OF 10
DRAWN BY : BPS	FILENAME:
CHECKED BY : JCC	Z:\5005\DWG\NOI\NORTHSIDE FARM NOI