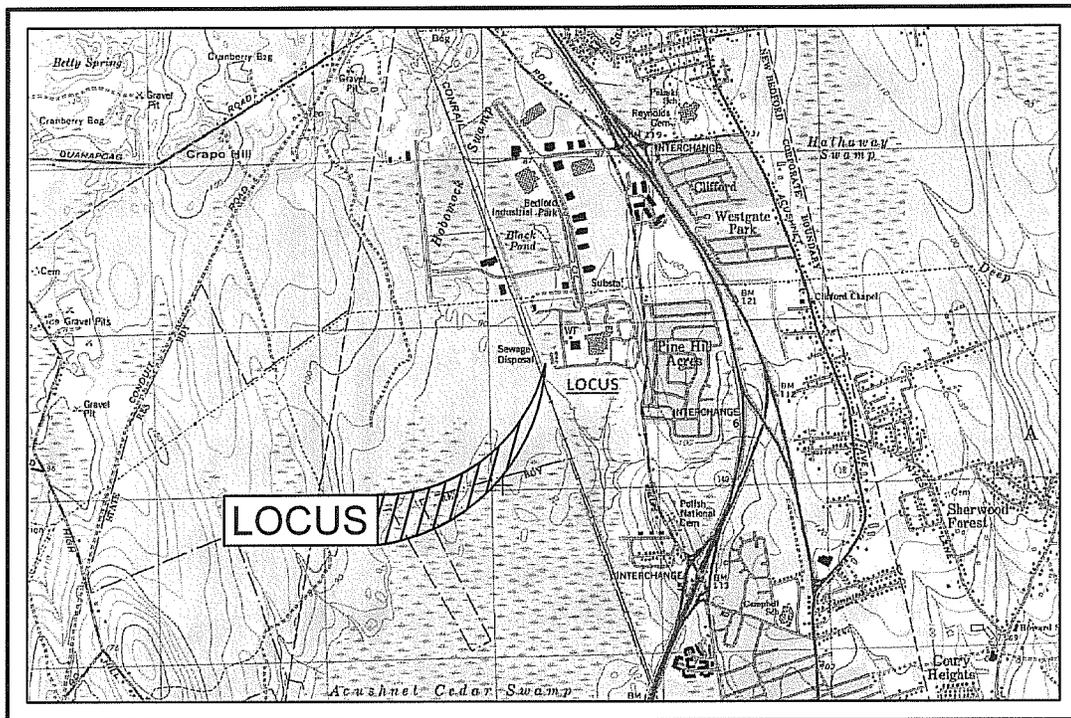




# NOTICE OF INTENT

## SITE PLAN

ASSESSORS MAP 134 - LOT 5  
100 DUCHAINE BLVD.  
NEW BEDFORD, MASSACHUSETTS



PREPARED FOR:

MIH1, LLC  
401 COUNTY STREET  
NEW BEDFORD, MA 02740



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5. EXHIBIT "B" - FIRM MAP
6. EXHIBIT "C" - NHESP PRIORITY AND ESTIMATED HABITAT MAP 2008
7. CERTIFIED ABUTTERS LIST
8. NOTIFICATION TO ABUTTERS
9. AFFIDAVIT OF SERVICE
10. SITE PLAN



## **NOTICE OF INTENT NARRATIVE**

### **Site Description**

The subject property encompasses approximately 8.09 acres of forested land located on the westerly side of Duchaine Boulevard in New Bedford, Massachusetts. The site is currently undeveloped. It is bounded on the west by railroad tracks and on the east by commercial property. The topography has very minimal sloping, with the highest elevation 81 to an elevation of 77 near the rear of the lot. The Soils underlying the site consist of Scarboro mucky fine sandy loam, 0 to 3 percent slopes and Sudbury fine sandy loam, 0 to 3 percent slopes. Soil information was taken from United States Department of Agriculture, Natural Resources Conservation Service, Web Soil Survey of Bristol County, Massachusetts.

### **Project Description**

The Applicant seeks approval for the clear cutting up to the 25'-No Touch Buffer Zone for stockpiling. The land area provides a total lot of 352,499 square feet; with 93,650 square feet of Wetland area and 231,849 square feet of Upland area. Approximate area of clear cutting will be 65,000 Square Feet within the 25-100 foot buffer.

The breakdown of the site area is:

- 1) Site Size is 352,499 S.F.
- 2) Site Area within the 200 foot Riverfront Area is 0 S.F.
- 3) Site Area within the BVW 0 to 25-foot No Touch Buffer Zone is 0 S.F.
- 4) Site Area within the BVW 25 to 100-foot Buffer Zone is 65,000 S.F.

Site area to be altered:

- 1) Within the 200 foot Riverfront Zone is 0 S.F.
- 2) Within the 0 to 100 foot Riverfront Zone is 0 S.F.
- 3) Within the 100 to 200 foot Riverfront Zone is 0 S.F.
- 4) Within the BVW 0 to 25-foot Zone is 0 S.F.
- 5) Within the BVW 25 to 100 foot Zone is 65,000 S.F.

As depicted on the Site Plans, this Notice of Intent is for the clear cutting of approximately 65,000 Square Feet of area within the 25-100 foot buffer. The premise is located in an industrial district.

The construction has been designed to comply in all respects with the requirements of the Zoning By-Laws. Specifically the lot is in compliance with the area and frontage requirements of the By-Laws. In addition the house with its location and size also complies with the dimensional requirements and limitations of the By-Laws.

## **Environmental Impact Assessment**

### **Potential Impacts**

The clearing will include all reasonable and appropriate engineering procedures for the mitigation of any impact from the changes to the site. The development of the site will be done as sensitive as possible to the interests of the abutting wetland and wildlife.

During the construction phase, there will be disturbance of the area within the siltation control fence. However, no activity will be allowed outside of this control. There will be exposed earth surfaces with the potential for siltation runoff. The runoff is to be controlled by using hay bale fencing at the limit of the work.

### **Stormwater Drainage**

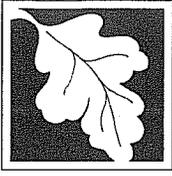
There will be a detention basin installed to handle the stormwater runoff.

## **Construction Sequence**

The preparation of the site for the proposed construction will follow the normal procedures for work of this type. The steps that follow are to be used as a guideline and may have to be adjusted due to site or weather conditions or unforeseen circumstances.

The procedure for construction, in general terms, will be as follows:

- 1) Establish the erosion/siltation control fences at the "Limit of Work" as shown on the approved site plans. (1 Week)
- 2) Clear the site of trees and stumps as required. (3 Weeks)



# WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number
Document Transaction Number
New Bedford
City/Town

**Important:**  
When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



**Note:**  
Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

## A. General Information

1. Project Location (**Note:** electronic filers will click on button to locate project site):

<u>100 Duchaine Blvd</u> a. Street Address	<u>New Bedford</u> b. City/Town	<u>02745</u> c. Zip Code
<u>Latitude and Longitude:</u>	<u>41</u> d. Latitude	<u>70</u> e. Longitude
<u>134</u> f. Assessors Map/Plat Number	<u>5</u> g. Parcel /Lot Number	

2. Applicant:

<u>MIH1, LLC</u> a. First Name	<u></u> b. Last Name
<u></u> c. Organization	
<u>401 County Street</u> d. Street Address	
<u>New Bedford</u> e. City/Town	<u>MA</u> f. State
<u>508-717-3479</u> h. Phone Number	<u>508-717-3481</u> i. Fax Number
<u>508-717-3479</u> h. Phone Number	<u>cfarland@farlandcorp.com</u> j. Email Address
	<u>02470</u> g. Zip Code

3. Property owner (required if different from applicant):  Check if more than one owner

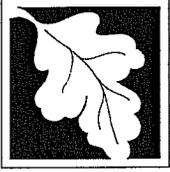
<u></u> a. First Name	<u></u> b. Last Name
<u>Logal LLC</u> c. Organization	
<u><del>89 Blackmer Street</del> 100 DUCHAINE BLVD</u> d. Street Address	
<u>New Bedford</u> e. City/Town	<u>MA</u> f. State
<u>508-717-3479</u> h. Phone Number	<u>508-717-3481</u> i. Fax Number
<u>508-717-3479</u> h. Phone Number	<u></u> j. Email address
	<u>02745</u> g. Zip Code

4. Representative (if any):

<u>Christian</u> a. First Name	<u>Farland</u> b. Last Name
<u>Farland Corporation, Inc.</u> c. Company	
<u>401 County Street</u> d. Street Address	
<u>New Bedford</u> e. City/Town	<u>MA</u> f. State
<u>508-717-3479</u> h. Phone Number	<u>508-717-3481</u> i. Fax Number
<u>508-717-3479</u> h. Phone Number	<u>cfarland@farlandcorp.com</u> j. Email address
	<u>02740</u> g. Zip Code

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

<u>\$110</u> a. Total Fee Paid	<u>\$42.50</u> b. State Fee Paid	<u>\$67.50</u> c. City/Town Fee Paid
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# WPA Form 3 – Notice of Intent

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City/Town

## A. General Information (continued)

6. General Project Description:

Clear cut approximately 65,000 S.F. within the 25-100 foot buffer. See project narrative and site plan for more details.

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- 1.  Single Family Home
- 2.  Residential Subdivision
- 3.  Commercial/Industrial
- 4.  Dock/Pier
- 5.  Utilities
- 6.  Coastal engineering Structure
- 7.  Agriculture (e.g., cranberries, forestry)
- 8.  Transportation
- 9.  Other

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

1.  Yes  No      If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

8. Property recorded at the Registry of Deeds for:

Bristol  
a. County

23339  
b. Certificate # (if registered land)

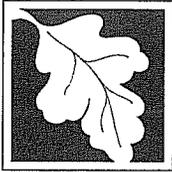
\_\_\_\_\_  
c. Book

\_\_\_\_\_  
d. Page Number

## B. Buffer Zone & Resource Area Impacts (temporary & permanent)

- 1.  Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
- 2.  Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.



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## B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
a. <input type="checkbox"/> Bank	1. linear feet	2. linear feet
b. <input type="checkbox"/> Bordering Vegetated Wetland	1. square feet	2. square feet
c. <input type="checkbox"/> Land Under Waterbodies and Waterways	1. square feet	2. square feet
	3. cubic yards dredged	

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
d. <input type="checkbox"/> Bordering Land Subject to Flooding	1. square feet	2. square feet
	3. cubic feet of flood storage lost	4. cubic feet replaced
e. <input type="checkbox"/> Isolated Land Subject to Flooding	1. square feet	
	2. cubic feet of flood storage lost	3. cubic feet replaced
f. <input type="checkbox"/> Riverfront Area	1. Name of Waterway (if available) - <b>specify coastal or inland</b>	
	2. Width of Riverfront Area (check one):	

25 ft. - Designated Densely Developed Areas only

100 ft. - New agricultural projects only

200 ft. - All other projects

3. Total area of Riverfront Area on the site of the proposed project: \_\_\_\_\_ square feet

4. Proposed alteration of the Riverfront Area:

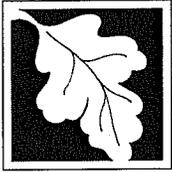
a. total square feet \_\_\_\_\_ b. square feet within 100 ft. \_\_\_\_\_ c. square feet between 100 ft. and 200 ft. \_\_\_\_\_

5. Has an alternatives analysis been done and is it attached to this NOI?  Yes  No

6. Was the lot where the activity is proposed created prior to August 1, 1996?  Yes  No

3.  Coastal Resource Areas: (See 310 CMR 10.25-10.35)

**Note:** for coastal riverfront areas, please complete **Section B.2.f.** above.



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## B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users:  
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
a. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below	
b. <input type="checkbox"/> Land Under the Ocean	1. square feet 2. cubic yards dredged	
c. <input type="checkbox"/> Barrier Beach	Indicate size under Coastal Beaches and/or Coastal Dunes below	
d. <input type="checkbox"/> Coastal Beaches	1. square feet	2. cubic yards beach nourishment
e. <input type="checkbox"/> Coastal Dunes	1. square feet	2. cubic yards dune nourishment

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
f. <input type="checkbox"/> Coastal Banks	1. linear feet	
g. <input type="checkbox"/> Rocky Intertidal Shores	1. square feet	
h. <input type="checkbox"/> Salt Marshes	1. square feet	2. sq ft restoration, rehab., creation
i. <input type="checkbox"/> Land Under Salt Ponds	1. square feet 2. cubic yards dredged	
j. <input type="checkbox"/> Land Containing Shellfish	1. square feet	
k. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above 1. cubic yards dredged	
l. <input type="checkbox"/> Land Subject to Coastal Storm Flowage	1. square feet	

4.  Restoration/Enhancement  
If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.

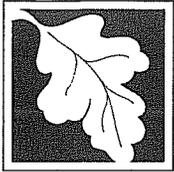
a. square feet of BVW

b. square feet of Salt Marsh

5.  Project Involves Stream Crossings

a. number of new stream crossings

b. number of replacement stream crossings



# WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

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## C. Other Applicable Standards and Requirements

- This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Notice of Intent – Required Actions (310 CMR 10.11).

### Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

1. Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to [http://maps.massgis.state.ma.us/PRI\\_EST\\_HAB/viewer.htm](http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm).

- a.  Yes  No **If yes, include proof of mailing or hand delivery of NOI to:**

Natural Heritage and Endangered Species Program  
Division of Fisheries and Wildlife  
1 Rabbit Hill Road  
Westborough, MA 01581

b. Date of map \_\_\_\_\_

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); OR complete Section C.2.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

- c. Submit Supplemental Information for Endangered Species Review\*

1.  Percentage/acreage of property to be altered:

(a) within wetland Resource Area \_\_\_\_\_  
percentage/acreage

(b) outside Resource Area \_\_\_\_\_  
percentage/acreage

2.  Assessor's Map or right-of-way plan of site

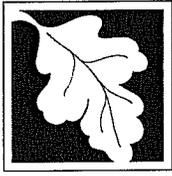
2.  Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work \*\*

(a)  Project description (including description of impacts outside of wetland resource area & buffer zone)

(b)  Photographs representative of the site

\* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <http://www.mass.gov/eea/agencies/dfg/dfw/natural-heritage/regulatory-review/>). Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

\*\* MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



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## C. Other Applicable Standards and Requirements (cont'd)

(c)  MESA filing fee (fee information available at [http://www.mass.gov/dfwele/dfw/nhosp/regulatory\\_review/ mesa/ mesa\\_fee\\_schedule.htm](http://www.mass.gov/dfwele/dfw/nhosp/regulatory_review/ mesa/ mesa_fee_schedule.htm)). Make check payable to "Commonwealth of Massachusetts - NHESP" and **mail to NHESP** at above address

*Projects altering 10 or more acres of land, also submit:*

(d)  Vegetation cover type map of site

(e)  Project plans showing Priority & Estimated Habitat boundaries

(f) OR Check One of the Following

1.  Project is exempt from MESA review.  
Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, [http://www.mass.gov/dfwele/dfw/nhosp/regulatory\\_review/ mesa/ mesa\\_exemptions.htm](http://www.mass.gov/dfwele/dfw/nhosp/regulatory_review/ mesa/ mesa_exemptions.htm); the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)

2.  Separate MESA review ongoing. a. NHESP Tracking # \_\_\_\_\_ b. Date submitted to NHESP \_\_\_\_\_

3.  Separate MESA review completed.  
Include copy of NHESP "no Take" determination or valid Conservation & Management Permit with approved plan.

3. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?

a.  Not applicable – project is in inland resource area only      b.  Yes     No

If yes, include proof of mailing, hand delivery, or electronic delivery of NOI to either:

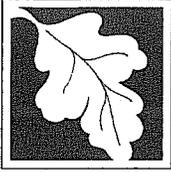
South Shore - Cohasset to Rhode Island border, and the Cape & Islands:

Division of Marine Fisheries -  
Southeast Marine Fisheries Station  
Attn: Environmental Reviewer  
1213 Purchase Street – 3rd Floor  
New Bedford, MA 02740-6694  
Email: [DMF.EnvReview-South@state.ma.us](mailto:DMF.EnvReview-South@state.ma.us)

North Shore - Hull to New Hampshire border:

Division of Marine Fisheries -  
North Shore Office  
Attn: Environmental Reviewer  
30 Emerson Avenue  
Gloucester, MA 01930  
Email: [DMF.EnvReview-North@state.ma.us](mailto:DMF.EnvReview-North@state.ma.us)

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office. For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional Office.



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## C. Other Applicable Standards and Requirements (cont'd)

**Online Users:**  
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?  
 a.  Yes  No      If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.  
 b. ACEC
5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?  
 a.  Yes  No
6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?  
 a.  Yes  No
7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?  
 a.  Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:  
     1.  Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)  
     2.  A portion of the site constitutes redevelopment  
     3.  Proprietary BMPs are included in the Stormwater Management System.  
 b.  No. Check why the project is exempt:  
     1.  Single-family house  
     2.  Emergency road repair  
     3.  Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

## D. Additional Information

- This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

**Online Users:** Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

1.  USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
2.  Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.



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## D. Additional Information (cont'd)

3.  Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.

4.  List the titles and dates for all plans and other materials submitted with this NOI.

Site Plan

a. Plan Title

Farland Corp.

b. Prepared By

Christian Farland

c. Signed and Stamped by

1:50

d. Final Revision Date

e. Scale

April 19, 2016

f. Additional Plan or Document Title

g. Date

5.  If there is more than one property owner, please attach a list of these property owners not listed on this form.

6.  Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.

7.  Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.

8.  Attach NOI Wetland Fee Transmittal Form

9.  Attach Stormwater Report, if needed.

## E. Fees

1.  Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

4156  
2. Municipal Check Number

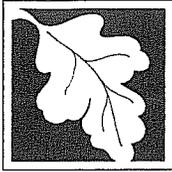
4/19/16  
3. Check date

4. State Check Number

4/19/16  
5. Check date

FARLAND CORP.  
6. Payor name on check: First Name

7. Payor name on check: Last Name



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Provided by MassDEP:
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## F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

1. Signature of Applicant	2. Date
3. Signature of Property Owner (if different)	4. Date
	4/21/16
5. Signature of Representative (if any)	6. Date

### For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

### For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a **copy** of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

### Other:

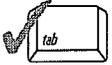
If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.



**Massachusetts Department of Environmental Protection**  
 Bureau of Resource Protection - Wetlands  
**NOI Wetland Fee Transmittal Form**  
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

**Important:** When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



**A. Applicant Information**

1. Location of Project:

100 Duchaine Blvd

a. Street Address

New Bedford

b. City/Town

c. Check number

d. Fee amount

2. Applicant Mailing Address:

MIH1, LLC

a. First Name

b. Last Name

c. Organization

401 County Street

d. Mailing Address

New Bedford

e. City/Town

MA

f. State

02740

g. Zip Code

508-717-3479

h. Phone Number

508-717-3481

i. Fax Number

cfarland@farlandcorp.com

j. Email Address

3. Property Owner (if different):

a. First Name

Logal LLC

c. Organization

89 Blackmer Street

d. Mailing Address

New Bedford

e. City/Town

MA

f. State

02744

g. Zip Code

h. Phone Number

i. Fax Number

j. Email Address

**B. Fees**

Fee should be calculated using the following process & worksheet. **Please see Instructions before filling out worksheet.**

**Step 1/Type of Activity:** Describe each type of activity that will occur in wetland resource area and buffer zone.

**Step 2/Number of Activities:** Identify the number of each type of activity.

**Step 3/Individual Activity Fee:** Identify each activity fee from the six project categories listed in the instructions.

**Step 4/Subtotal Activity Fee:** Multiply the number of activities (identified in Step 2) times the fee per category (identified in Step 3) to reach a subtotal fee amount. Note: If any of these activities are in a Riverfront Area in addition to another Resource Area or the Buffer Zone, the fee per activity should be multiplied by 1.5 and then added to the subtotal amount.

**Step 5/Total Project Fee:** Determine the total project fee by adding the subtotal amounts from Step 4.

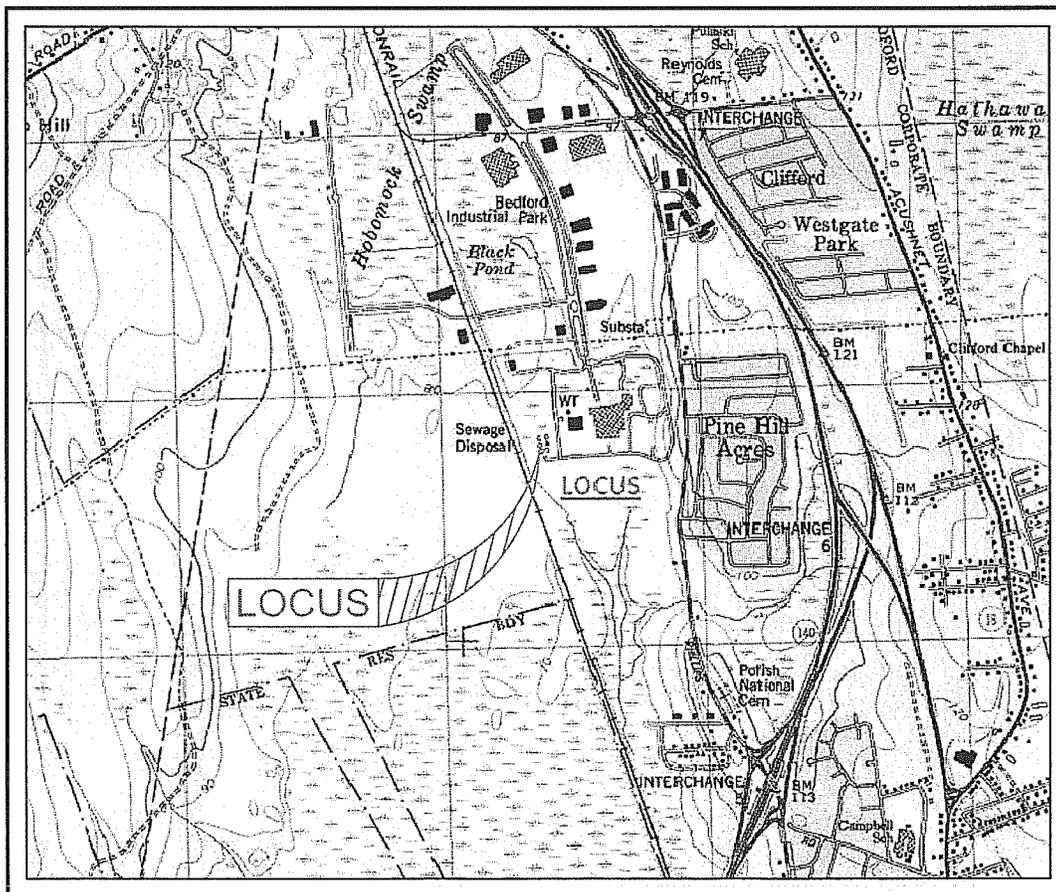
**Step 6/Fee Payments:** To calculate the state share of the fee, divide the total fee in half and subtract \$12.50. To calculate the city/town share of the fee, divide the total fee in half and add \$12.50.

To calculate filing fees, refer to the category fee list and examples in the instructions for filling out WPA Form 3 (Notice of Intent).



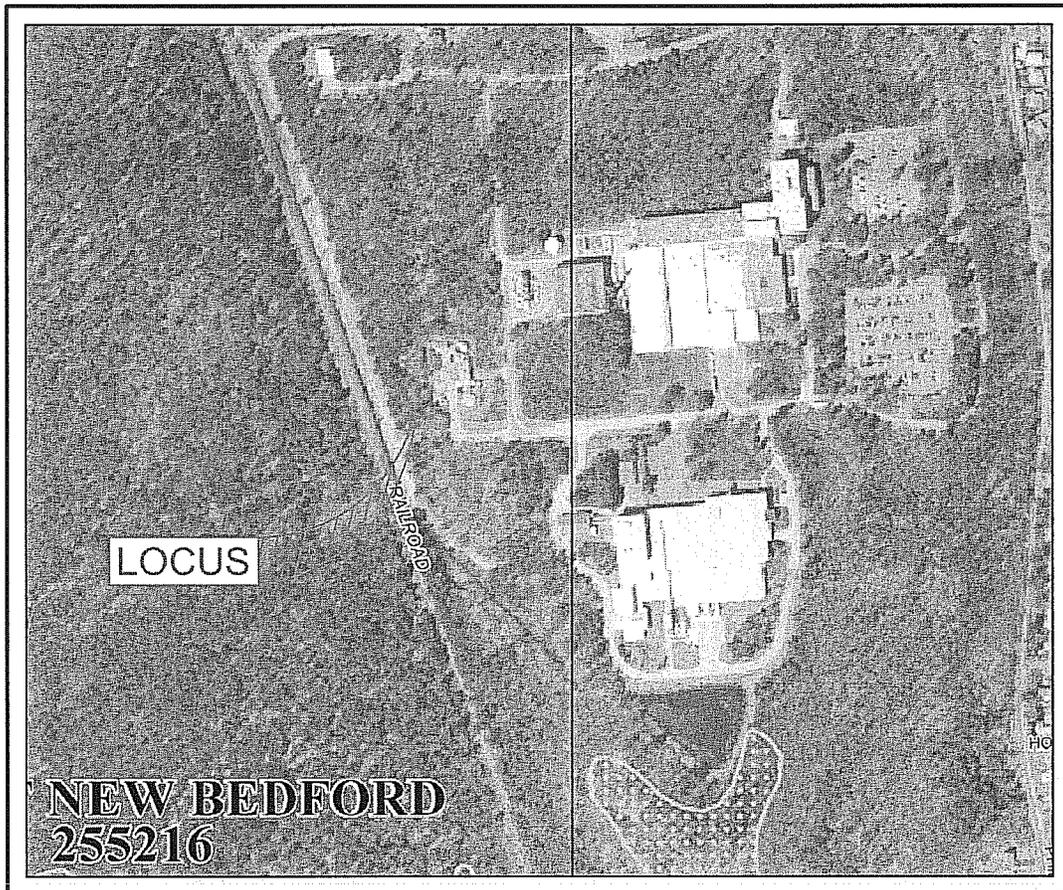


# TOPO! VERSION 2.1.0



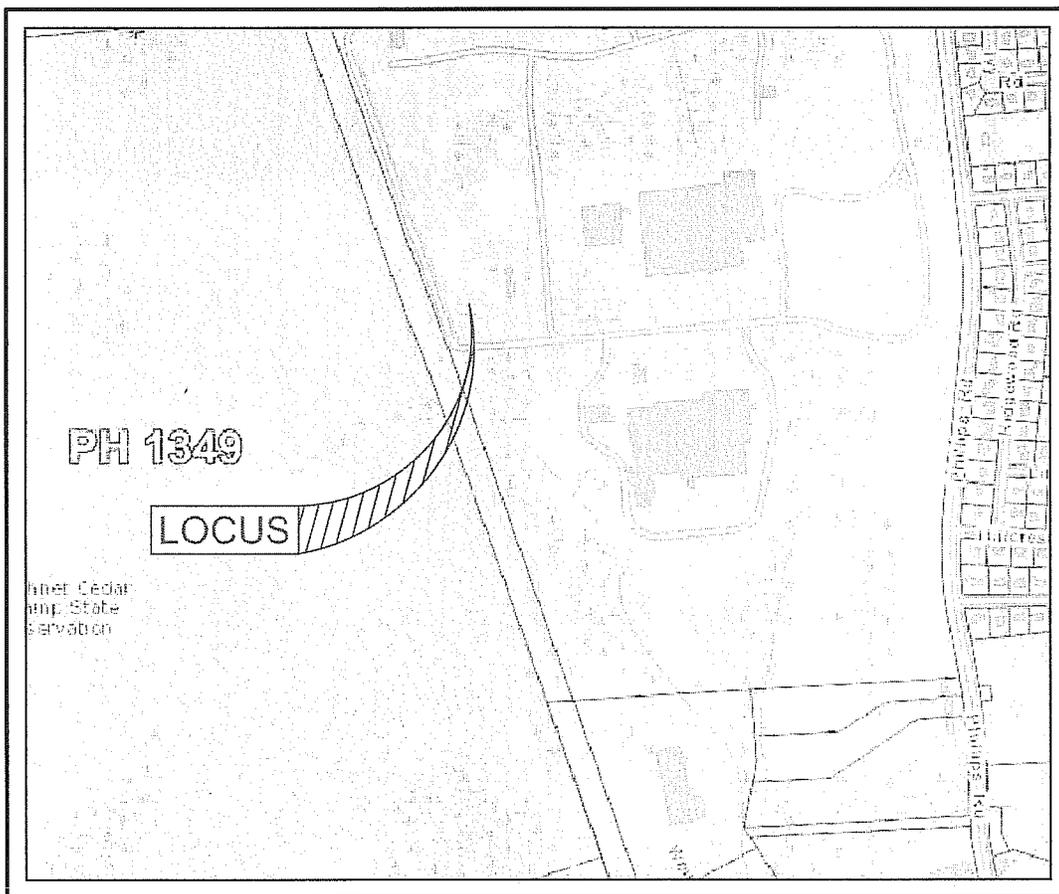
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FIRM MAP  
PANEL # 25005C0379F  
EFFECTIVE JULY 7, 2009





# NHESP PRIORITY & ESTIMATED HABITAT MAP 2008







*City of New Bedford*  
**REQUEST for a CERTIFIED ABUTTERS LIST**

This information is needed so that an official abutters list as required by MA General Law may be created and used in notifying abutters. You, as applicant, are responsible for picking up and paying for the certified abutters list from the assessor's office (city hall, room #109).

SUBJECT PROPERTY			
MAP #	134	LOT(S)#	5
ADDRESS: 100 Duchaine Blvd.			
OWNER INFORMATION			
NAME: Logal LLC C/O ERIC DECOSTA			
MAILING ADDRESS: 89 BLACKMER ST., New Bedford, MA 02744			
APPLICANT/CONTACT PERSON INFORMATION			
NAME (IF DIFFERENT): Farland Corp.			
MAILING ADDRESS (IF DIFFERENT): 401 County Street, New Bedford, MA 02740			
TELEPHONE #	508-717-3479		
EMAIL ADDRESS:	JTabares@farlandcorp.com		
REASON FOR THIS REQUEST: <i>Check appropriate</i>			
<input type="checkbox"/>	ZONING BOARD OF APPEALS APPLICATION		
<input type="checkbox"/>	PLANNING BOARD APPLICATION		
<input checked="" type="checkbox"/>	CONSERVATION COMMISSION APPLICATION		
<input type="checkbox"/>	LICENSING BOARD APPLICATION		
<input type="checkbox"/>	OTHER (Please explain):		

Once obtained, the Certified List of Abutters must be attached to this Certification Letter.

Submit this form to the Planning Division Room 303 in City Hall, 133 William Street. You, as applicant, are responsible for picking up and paying for the certified abutters list from the assessor's office (city hall, room #109).

**Official Use Only:**

As Administrative Assistant to the City of New Bedford's Board of Assessors, I do hereby certify that the names and addresses as identified on the attached "abutters list" are duly recorded and appear on the most recent tax

**Carlos Amado**

Printed Name

Signature

4/15/2016

Date



April 12, 2016  
Dear Applicant,

Please find below the List of Abutters within 100 feet of the property known as 100 Duchaine Blvd (134-5). The current ownership listed herein must be checked and verified by the City of New Bedford Assessor's Office. Following said verification, the list shall be considered a Certified List of Abutters.

Please note that multiple listed properties with identical owner name and mailing address shall be considered duplicates, and shall require only 1 mailing. Additionally, City of New Bedford-Owned properties shall not require mailed notice.

<u>Parcel</u>	<u>Location</u>	<u>Owner and Mailing Address</u>
134E-6	107 RIDGEWOOD RD	DUBOIS RAYMOND, DUBOIS DIANE C 107 RIDGEWOOD ROAD NEW BEDFORD, MA 02745
134E-7	115 RIDGEWOOD RD	CATOJO LENNY, 115 RIDGEWOOD ROAD NEW BEDFORD, MA 02745
134E-8	125 RIDGEWOOD RD	DEVLIN ROBERT, 125 RIDGEWOOD RD NEW BEDFORD, MA 02745
133-2 <i>ES</i>	JOHN VERTENTE BLVD	COMMONWEALTH OF MASSACHUSETTS, 251 CAUSEWAY STREET BOSTON, MA 02114
134F-29	109 BIRCHWOOD DR	TAYLOR BRUCE M, 109 BIRCHWOOD DR NEW BEDFORD, MA 02745
134F-31	97 IVY RD	BARBOSA LUISA P, 97 IVY RD NEW BEDFORD, MA 02745
134F-30	99 IVY RD	TAVARES JOSE, 99 IVY ROAD NEW BEDFORD, MA 02745
134E-9	993 PINE HILL DR	BATES GAIL A, 993 PINE HILL DRIVE NEW BEDFORD, MA 02745
134-455	107 DUCHAINE BLVD	CITY OF NEW BEDFORD, 133 WILLIAM STREET NEW BEDFORD, MA 02740
134E-5	99 RIDGEWOOD RD	SEIFERT JEFFREY A, SEIFERT LORIE A 99 RIDGEWOOD ROAD NEW BEDFORD, MA 02745
134-406	1844 PHILLIPS RD	CRAPO VICTORIA J, CRAPO DENNIS S 1844 PHILLIPS ROAD NEW BEDFORD, MA 02745
134F-32	95 IVY RD	BOUCHARD DENNIS P, BOUCHARD WANDA M 95 IVY ROAD NEW BEDFORD, MA 02745
134-342	1784 PHILLIPS RD	HATHAWAY ROBERT, C/O ROBERT J HATHAWAY 1784 PHILLIPS ROAD NEW BEDFORD, MA 02745



April 12, 2016  
Dear Applicant,

Please find below the List of Abutters within 100 feet of the property known as 100 Duchaine Blvd (134-5). The current ownership listed herein must be checked and verified by the City of New Bedford Assessor's Office. Following said verification, the list shall be considered a Certified List of Abutters.

Please note that multiple listed properties with identical owner name and mailing address shall be considered duplicates, and shall require only 1 mailing. Additionally, City of New Bedford-Owned properties shall not require mailed notice.

Parcel	Location	Owner and Mailing Address
134F-68	112 BIRCHWOOD DR	LORANTOS GEORGE G JR, LORANTOS CHERYL 112 BIRCHWOOD DRIVE NEW BEDFORD, MA 02745
133-12 <i>R-ES</i>	SAMUEL BARNETT BLVD	GREATER NEW BEDFORD, INDUSTRIAL FOUNDATION 227 UNION ST RM 607 NEW BEDFORD, MA 02740
134-16 <i>ES</i>	PHILLIPS RD	ABREU JOSEPH L, 759 BELLEVILLE AVE NEW BEDFORD, MA 02745
133-10	RIGHT OF WAY	PENN CENTRAL CO, CONSOLIDATED RAIL CORP <del>P O BOX 8097</del> <i>500 Water St. Dept. J910</i> <del>PHILADELPHIA, PA 19101</del> <i>Jacksonville, FL 32202</i>
134-5	100 DUCHAINE BLVD	LOGAL LLC, C/O ERIC DECOSTA 89 BLACKMER STREET NEW BEDFORD, MA 02744
134-456 <i>R-WS</i>	DUCHAINE BLVD	MULTILAYER COATING TECHNOLOGIES LLC, 1 CRANBERRY HILL SUITE 401 LEXINGTON, MA 02421-7397
134-457	50 DUCHAINE BLVD	MULTILAYER COATING TECHNOLOGIES LLC, 1 CRANBERRY HILL LEXINGTON, MA 02421
134-459 <i>WS</i>	PHILLIPS RD	MULTILAYER COATING TECHNOLOGIES LLC, 1 CRANBERRY HILL SUITE 401 LEXINGTON, MA 02421-7397
133-19	126 DUCHAINE BLVD	N E PLASTICS CORP, 310 SALEM ST WOBURN, MA 01801
134-3	1885 PHILLIPS RD	COMMONWEALTH ELECTRIC CO, C/O PROPERTY TAX DEPARTMENT P O BOX 270 HARTFORD, CT 06141
134-318 <i>ES</i>	PHILLIPS RD	COMMONWEALTH ELECTRIC CO, C/O PROPERTY TAX DEPARTMENT P O BOX 270 HARTFORD, CT 06141







## Notification to Abutters

In accordance with the second paragraph of Massachusetts General Laws Chapter 131, Section 40, you are hereby notified of the following:

- A. The name of the applicant is MIH1, LLC
- B. The applicant has filed a Notice of Intent with the Conservation Commission for the municipality of City of New Bedford seeking permission to remove, fill, dredge or alter an Area Subject to Protection Under the Wetlands Protection Act (General Laws Chapter 131, Section 40).
- C. The address of the lot where the activity is proposed is 100 Duchaine Blvd
- D. Copies of the Notice of Intent may be examined at the New Bedford Conservation Commission office at 133 William Street #312 between the hours of 8:30am and 4:00pm.
- E. Copies of the Notice of Intent may also be obtained from the applicant's representative FOR A REASONABLE FEE by calling: Farland Corp. at (508) 717-3479 between the hours of 9:00 am and 4:00 pm on Monday – Friday.
- F. Information regarding the date, time and place of the public hearing may be obtained from the New Bedford CONSERVATION COMMISSION by calling: 508-991-6188.

NOTE: Notice of the public hearing, including its date, time, and place, will be published at least five (5) days in advance in a publication with general circulation in the Community.

NOTE: Notice of the public hearing, including its date, time, and place, will be posted in the City or Town Hall not less than forty-eight (48) hours in advance.

NOTE: You also may contact the nearest Department of Environmental Protection Regional Office for more information about this application or the Wetlands Protection Act. To contact DEP, call: (508) 946-2700



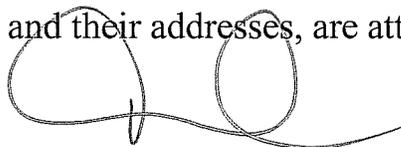
**Under the Massachusetts Wetlands Protection Act**

(to be submitted to the Massachusetts Department of Environmental Protection and the Conservation Commission when filing a Request for Determination of Applicability)

I, Christian Farland hereby certify under the pains and penalties of perjury that on April 22, 2016, I gave notification to abutters in compliance with the second paragraph of Massachusetts General Laws Chapter 131, Section 40, and the DEP Guide to Abutter Notification dated April 8, 1994, in connection with the following matter:

A Notice of Intent filed under the City of New Bedford Wetland By-Law by MIH1, LLC with the New Bedford Conservation Commission on April 22, 2016 for property located at 100 Duchaine Blvd.

The form of the notification, and a list of the abutters to whom it was given and their addresses, are attached to this Affidavit of Service.



\_\_\_\_\_  
Name



\_\_\_\_\_  
Date



# SITE PLAN

