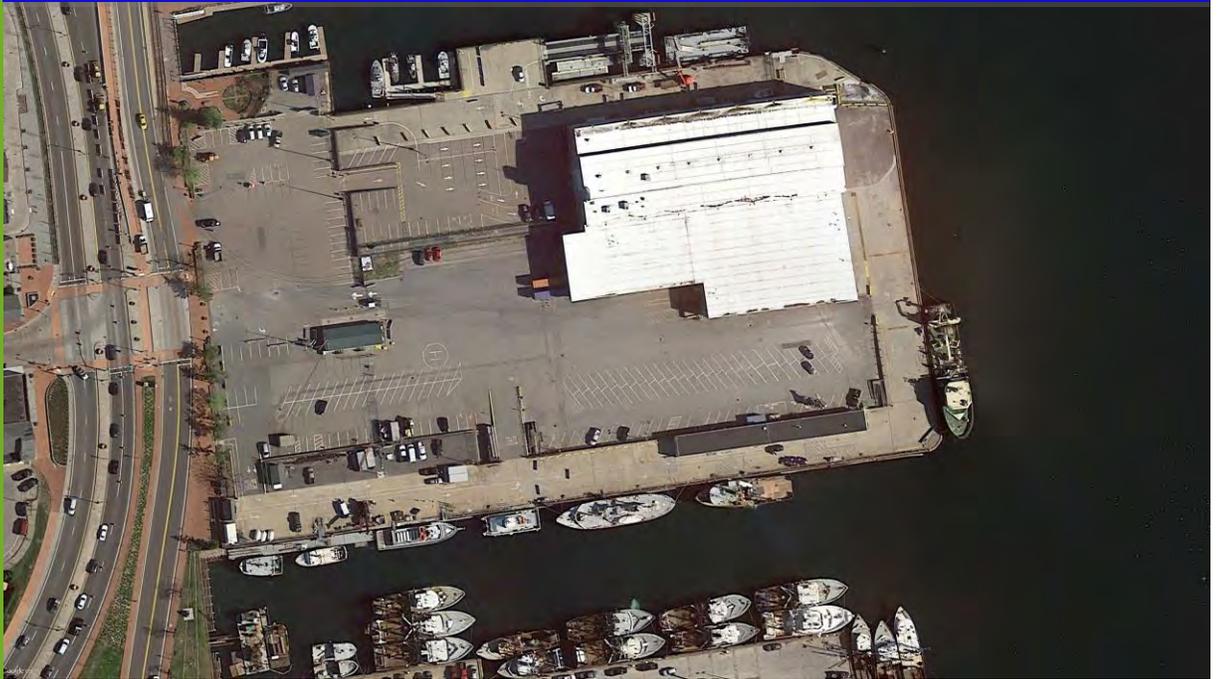


NOTICE OF INTENT

PROPOSED STATE PIER BUILDING #2
MODIFICATIONS
New Bedford, MA



Prepared for:

Massachusetts Department of Conservation & Recreation
251 Causeway St. Suite 900
Boston, MA 02114

June 2016

cleengineering

15 Creek Road | Marion, MA 02738
800.668.3220 | www.cleengineering

June 8, 2016

Ms. Sarah Porter
New Bedford Conservation Commission
133 William Street – Room 304
New Bedford, MA 02740

Re: Minor Building Improvements
Notice of Intent Application
New Bedford State Pier
93 State Pier, New Bedford, MA 02744

Dear Ms. Porter:

On behalf of Steve Kelleher Architects, Inc. and the MA Department of Conservation and Recreation, CLE Engineering, Inc. (CLE) has enclosed the Notice of Intent application prepared by CLE Engineering, Inc. for the above referenced project. Attached please find one (1) original and one (1) copy of the application package with plans and a check for the city's portion of the WPA filing fee (\$262.50). An additional check for the New Bedford Filing Fee (\$198.00) is also included in the package. The enclosed plans and permit application describes the proposed site improvements for the existing facility.

Feel free to contact me at (508) 748-0937 or via email at SNilson@CLEengineering.com if you require any additional information or have any questions. Thank you for your assistance.

Sincerely,
CLE Engineering, Inc.



Susan E. Nilson, PE

Attachments

Cc: Stephen Kelleher, AIA



WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

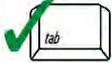
Document Transaction Number

New Bedford

City/Town

Important:

When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note: Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

A. General Information

1. Project Location (**Note:** electronic filers will click on button to locate project site):

<u>93 State Pier</u>	<u>New Bedford</u>	<u>02744</u>
a. Street Address	b. City/Town	c. Zip Code
Latitude and Longitude:		
<u>Map 53 & 47</u>	<u>41°38'5.76"N</u>	<u>70°55'8.10"W</u>
f. Assessors Map/Plat Number	d. Latitude	e. Longitude
	<u>Lot 217 & 203</u>	
	g. Parcel /Lot Number	

2. Applicant:

<u>Matthew</u>	<u>Sisk</u>	
a. First Name	b. Last Name	
<u>Department of Conservation & Recreation</u>		
c. Organization		
<u>251 Causeway Street, Suite 900</u>		
d. Street Address		
<u>Boston</u>	<u>MA</u>	<u>02114-2104</u>
e. City/Town	f. State	g. Zip Code
<u>617-626-4964</u>	<u>matthew.sisk@state.ma.us</u>	
h. Phone Number	i. Fax Number	j. Email Address

3. Property owner (required if different from applicant): Check if more than one owner

<u></u>	<u></u>	
a. First Name	b. Last Name	
<u>Commonwealth of Massachusetts</u>		
c. Organization		
<u>Above</u>		
d. Street Address		
<u></u>	<u></u>	<u></u>
e. City/Town	f. State	g. Zip Code
<u></u>	<u></u>	<u></u>
h. Phone Number	i. Fax Number	j. Email address

4. Representative (if any):

<u>Susan</u>	<u>Nilson, P.E.</u>	
a. First Name	b. Last Name	
<u>CLE Engineering, Inc.</u>		
c. Company		
<u>15 Creek Road</u>		
d. Street Address		
<u>Marion</u>	<u>MA</u>	<u>02738</u>
e. City/Town	f. State	g. Zip Code
<u>508 748-0937</u>	<u>508 748-1363</u>	<u>snilson@cleengineering.com</u>
h. Phone Number	i. Fax Number	j. Email address

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

<u>\$500.00</u>	<u>\$237.50</u>	<u>\$262.50</u>
a. Total Fee Paid	b. State Fee Paid	c. City/Town Fee Paid



WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

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New Bedford

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A. General Information (continued)

6. General Project Description:

The project consists of minor modifications to the ex. Bldg #2, New Bedford State Pier. Exterior modifications include installation of eight (8) dock levelers on ex. loading docks, (2) 12' concrete wing walls & metal canopy on the east side of building, concrete staircase, and enclosure of ex. loading dock. All work is within ex. previously authorized area of pier.

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- 1. Single Family Home
- 2. Residential Subdivision
- 3. Commercial/Industrial
- 4. Dock/Pier
- 5. Utilities
- 6. Coastal engineering Structure
- 7. Agriculture (e.g., cranberries, forestry)
- 8. Transportation
- 9. Other

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

1. Yes No If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

8. Property recorded at the Registry of Deeds for:

Bristol

a. County

418 & 817

c. Book

b. Certificate # (if registered land)

492 & 544

d. Page Number

B. Buffer Zone & Resource Area Impacts (temporary & permanent)

- 1. Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
- 2. Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.



WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

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B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
a. <input type="checkbox"/> Bank	1. linear feet	2. linear feet
b. <input type="checkbox"/> Bordering Vegetated Wetland	1. square feet	2. square feet
c. <input type="checkbox"/> Land Under Waterbodies and Waterways	1. square feet	2. square feet
	3. cubic yards dredged	

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
d. <input type="checkbox"/> Bordering Land Subject to Flooding	1. square feet	2. square feet
	3. cubic feet of flood storage lost	4. cubic feet replaced
e. <input type="checkbox"/> Isolated Land Subject to Flooding	1. square feet	
	2. cubic feet of flood storage lost	3. cubic feet replaced
f. <input type="checkbox"/> Riverfront Area	1. Name of Waterway (if available) - specify coastal or inland	

2. Width of Riverfront Area (check one):

- 25 ft. - Designated Densely Developed Areas only
- 100 ft. - New agricultural projects only
- 200 ft. - All other projects

3. Total area of Riverfront Area on the site of the proposed project: _____ square feet

4. Proposed alteration of the Riverfront Area:

a. total square feet _____ b. square feet within 100 ft. _____ c. square feet between 100 ft. and 200 ft. _____

5. Has an alternatives analysis been done and is it attached to this NOI? Yes No

6. Was the lot where the activity is proposed created prior to August 1, 1996? Yes No

3. Coastal Resource Areas: (See 310 CMR 10.25-10.35)

Note: for coastal riverfront areas, please complete **Section B.2.f.** above.



WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

New Bedford

City/Town

B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
a. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below	
b. <input type="checkbox"/> Land Under the Ocean	1. square feet 2. cubic yards dredged	
c. <input type="checkbox"/> Barrier Beach	Indicate size under Coastal Beaches and/or Coastal Dunes below	
d. <input type="checkbox"/> Coastal Beaches	1. square feet	2. cubic yards beach nourishment
e. <input type="checkbox"/> Coastal Dunes	1. square feet	2. cubic yards dune nourishment

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
f. <input type="checkbox"/> Coastal Banks	1. linear feet	
g. <input type="checkbox"/> Rocky Intertidal Shores	1. square feet	
h. <input type="checkbox"/> Salt Marshes	1. square feet	2. sq ft restoration, rehab., creation
i. <input type="checkbox"/> Land Under Salt Ponds	1. square feet 2. cubic yards dredged	
j. <input type="checkbox"/> Land Containing Shellfish	1. square feet	
k. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above 1. cubic yards dredged	
l. <input type="checkbox"/> Land Subject to Coastal Storm Flowage	1. square feet	

4. Restoration/Enhancement
If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.

a. square feet of BVW

b. square feet of Salt Marsh

5. Project Involves Stream Crossings

a. number of new stream crossings

b. number of replacement stream crossings



WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

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C. Other Applicable Standards and Requirements

- This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Notice of Intent – Required Actions (310 CMR 10.11).

Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

- 1. Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm.

a. Yes No **If yes, include proof of mailing or hand delivery of NOI to:**

**Natural Heritage and Endangered Species Program
Division of Fisheries and Wildlife
1 Rabbit Hill Road
Westborough, MA 01581**

2008 _____
b. Date of map

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); *OR* complete Section C.1.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

c. Submit Supplemental Information for Endangered Species Review*

- 1. Percentage/acreage of property to be altered:

(a) within wetland Resource Area _____
percentage/acreage

(b) outside Resource Area _____
percentage/acreage

- 2. Assessor's Map or right-of-way plan of site

- 2. Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work **

(a) Project description (including description of impacts outside of wetland resource area & buffer zone)

(b) Photographs representative of the site

* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <http://www.mass.gov/eea/agencies/dfg/dfw/natural-heritage/regulatory-review/>). Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

** MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
MassDEP File Number
Document Transaction Number
New Bedford
City/Town

C. Other Applicable Standards and Requirements (cont'd)

(c) MESA filing fee (fee information available at http://www.mass.gov/dfwele/dfw/nhesp/regulatory_review/ mesa/ mesa_fee_schedule.htm).
Make check payable to "Commonwealth of Massachusetts - NHESP" and **mail to NHESP** at above address

Projects altering 10 or more acres of land, also submit:

(d) Vegetation cover type map of site

(e) Project plans showing Priority & Estimated Habitat boundaries

(f) OR Check One of the Following

1. Project is exempt from MESA review.
Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, http://www.mass.gov/dfwele/dfw/nhesp/regulatory_review/ mesa/ mesa_exemptions.htm; the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)

2. Separate MESA review ongoing. _____ a. NHESP Tracking # _____ b. Date submitted to NHESP

3. Separate MESA review completed.
Include copy of NHESP "no Take" determination or valid Conservation & Management Permit with approved plan.

3. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?

a. Not applicable – project is in inland resource area only b. Yes No

If yes, include proof of mailing, hand delivery, or electronic delivery of NOI to either:

South Shore - Cohasset to Rhode Island border, and the Cape & Islands:

Division of Marine Fisheries -
Southeast Marine Fisheries Station
Attn: Environmental Reviewer
1213 Purchase Street – 3rd Floor
New Bedford, MA 02740-6694
Email: DMF.EnvReview-South@state.ma.us

North Shore - Hull to New Hampshire border:

Division of Marine Fisheries -
North Shore Office
Attn: Environmental Reviewer
30 Emerson Avenue
Gloucester, MA 01930
Email: DMF.EnvReview-North@state.ma.us

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office. For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional Office.



WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

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New Bedford

City/Town

C. Other Applicable Standards and Requirements (cont'd)

Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?
 a. Yes No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.
 b. ACEC
5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?
 a. Yes No
6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?
 a. Yes No
7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?
 a. Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:
 1. Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)
 2. A portion of the site constitutes redevelopment
 3. Proprietary BMPs are included in the Stormwater Management System.
 b. No. Check why the project is exempt:
 1. Single-family house
 2. Emergency road repair
 3. Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

D. Additional Information

- This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

Online Users: Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

1. USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
2. Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.



WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
MassDEP File Number
Document Transaction Number
New Bedford
City/Town

D. Additional Information (cont'd)

3. Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.

4. List the titles and dates for all plans and other materials submitted with this NOI.

New Bedford State Pier - Minor Building Improvements

a. Plan Title

CLE Engineering, Inc.

Susan E. Nilson, P.E.

b. Prepared By

c. Signed and Stamped by

September 23, 2015

As Noted

d. Final Revision Date

e. Scale

Refer to Application Exhibits

September 2015

f. Additional Plan or Document Title

g. Date

5. If there is more than one property owner, please attach a list of these property owners not listed on this form.

6. Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.

7. Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.

8. Attach NOI Wetland Fee Transmittal Form

9. Attach Stormwater Report, if needed.

E. Fees

1. Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

433, 434, 602

9/17/15 (433&434), 6/7/16 (602)

2. Municipal Check Number

3. Check date

432

9/17/15

4. State Check Number

5. Check date

CLE Engineering, Inc.

6. Payor name on check: First Name

7. Payor name on check: Last Name



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

New Bedford

City/Town

F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

Matthew R. Sida

1. Signature of Applicant

6/2/2016

2. Date

3. Signature of Property Owner (if different)

[Signature]

4. Date

6/8/16

5. Signature of Representative (if any)

6. Date

For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a copy of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

Other:

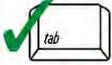
If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Important: When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



A. Applicant Information

1. Location of Project:

<u>93 State Pier</u>	<u>New Bedford</u>
a. Street Address	b. City/Town
<u>432</u>	<u>\$237.50</u>
c. Check number	d. Fee amount

2. Applicant Mailing Address:

<u>Matthew</u>	<u>Sisk</u>	
a. First Name	b. Last Name	
<u>Department of Conservation & Recreation</u>		
c. Organization		
<u>251 Causeway Street, Suite 900</u>		
d. Mailing Address		
<u>Boston</u>	<u>MA</u>	<u>02114-2104</u>
e. City/Town	f. State	g. Zip Code
<u>617-626-4964</u>	<u>matthew.sisk@state.ma.us</u>	
h. Phone Number	i. Fax Number	j. Email Address

3. Property Owner (if different):

<u></u>	<u></u>	
a. First Name	b. Last Name	
<u></u>		
c. Organization		
<u></u>		
d. Mailing Address		
<u></u>	<u></u>	<u></u>
e. City/Town	f. State	g. Zip Code
<u></u>	<u></u>	<u></u>
h. Phone Number	i. Fax Number	j. Email Address

B. Fees

Fee should be calculated using the following process & worksheet. **Please see Instructions before filling out worksheet.**

Step 1/Type of Activity: Describe each type of activity that will occur in wetland resource area and buffer zone.

Step 2/Number of Activities: Identify the number of each type of activity.

Step 3/Individual Activity Fee: Identify each activity fee from the six project categories listed in the instructions.

Step 4/Subtotal Activity Fee: Multiply the number of activities (identified in Step 2) times the fee per category (identified in Step 3) to reach a subtotal fee amount. Note: If any of these activities are in a Riverfront Area in addition to another Resource Area or the Buffer Zone, the fee per activity should be multiplied by 1.5 and then added to the subtotal amount.

Step 5/Total Project Fee: Determine the total project fee by adding the subtotal amounts from Step 4.

Step 6/Fee Payments: To calculate the state share of the fee, divide the total fee in half and subtract \$12.50. To calculate the city/town share of the fee, divide the total fee in half and add \$12.50.

To calculate filing fees, refer to the category fee list and examples in the instructions for filling out WPA Form 3 (Notice of Intent).



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

B. Fees (continued)

Step 1/Type of Activity	Step 2/Number of Activities	Step 3/Individual Activity Fee	Step 4/Subtotal Activity Fee
Category 2(j)	1	\$500.00	\$500.00
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
Step 5/Total Project Fee:			\$500.00
Step 6/Fee Payments:			
Total Project Fee:			\$500.00
State share of filing Fee:			\$237.50
City/Town share of filing Fee:			\$262.50
			a. Total Fee from Step 5
			b. 1/2 Total Fee less \$12.50
			c. 1/2 Total Fee plus \$12.50

C. Submittal Requirements

- a.) Complete pages 1 and 2 and send with a check or money order for the state share of the fee, payable to the Commonwealth of Massachusetts.

Department of Environmental Protection
 Box 4062
 Boston, MA 02211

- b.) **To the Conservation Commission:** Send the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and the city/town fee payment.

To MassDEP Regional Office (see Instructions): Send a copy of the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and a **copy** of the state fee payment. (E-filers of Notices of Intent may submit these electronically.)

(C.) AMENDING A PERMIT:

- Written inquiry or request to appear to determine the need for an Amended Order:** (\$50.00 fee) \$_____
- Amending OOC: \$150.00 + _____ (applicable alteration fee) \$_____

(D.) RESOURCE BOUNDARY DELINEATION VERIFICATION USING AN RDA APPLICATION:

- \$150.00 + \$2.00 X _____ LF Wetland boundary \$_____

(E.) ABBREVIATED RESOURCE AREA DELINEATION VERIFICATION (ANRAD)

- \$150.00 + \$1.00 X _____ LF Resource Area boundary \$_____

(F.) RESOURCE BOUNDARY DELINEATION VERIFICATION CONDUCTED DURING A NOTICE OF INTENT REVIEW

- \$150.00 + \$3.00 X _____ LF Resource Area boundary \$_____

(G.) DOCKS:

- \$100.00 + \$4.00 X _____ LF of dock \$_____
- Add 150% to total fee if in significant shellfish habitat \$_____

(H.) AFTER THE FACT FILING:

- All Total Fees are doubled \$_____

(I.) RESTORATION PLAN FEE:

- (\$150.00 + _____ Alteration Fee) Multiplied by 2 \$_____

(J.) LIFTING ON ENFORCEMENT ORDER:

- \$150.00 fee \$_____

(K.) CERTIFICATE OF COMPLIANCE:

- refer to "K" of the Fee schedule \$_____

(L.) PENALTIES:

- refer to "L" of the Fee schedule \$_____

TOTAL AMOUNT DUE (including after-the-fact fee if applicable): \$ 198.00

Notes:

* Please refer to the Conservation Commission Fee Schedule - Revised April 2009

** This is not required, but available for anyone who would like to appear to discuss the need to Amend.

Please make check or Money Order payable to: THE CITY OF NEW BEDFORD.
Cash is not Accepted.

CLE ENGINEERING INC
15 CREEK RD
MARION, MA 02738
PH 508-748-0937

SEP 17, 2015
Date

434
53-7023/2113
635

Pay to the order of City of New Bedford \$ 154.80

One hundred fifty-four and 80/100 Dollars



WebsterOnline.com

MR State Dept Practice of Infant By-law Fee Stephanie A Morris

⑆ 211370231⑆10 9320289765⑆ 0434

CLE ENGINEERING INC
15 CREEK RD
MARION, MA 02738
PH 508-748-0937

432

53-7023/2113
635

Sep 17, 2015
Date

Pay to the order of Commonwealth of Massachusetts \$ 237.50

Two hundred thirty-seven and 50/100 DOLLARS



WebsterOnline.com

MA State Fees

Stephanie C Morano

For Notice of Intent

⑆211370231⑆10 9320289755⑆0432



Security Emblem on Back

CLE ENGINEERING INC
15 CREEK RD
MARION, MA 02738
PH 508-748-0937

433

53-7023/2113
635

Sept 17, 2015
Date

Pay to the order of City of New Bedford \$ 262.50

Two hundred sixty-two and 50/100 Dollars



Webster Bank
WebsterOnline.com

MR Stocker
For Notice of Intent

Sejanie C Morris

⑆21137023⑆10 9320289755⑆0433



Security
Emblem on
Back

CLE ENGINEERING INC
15 CREEK RD
MARION, MA 02738
PH 508-748-0937

602
53-7023/2113
635
June 7, 2016
Date

Pay to the order of City of New Bedford \$ 43.00

Dollars  Photo Deposit™
Deposit on Back

 Webster Bank
WebsterOnline.com

MB State Pleds Fee
For: 1001 - Bylaws Fee

Stephanie O Morais

⑆ 211370231⑆ 10 9320289755⑆ 0502

Table of Attachments

Exhibit A	Project Narrative
Exhibit B	Project Locus Map
Exhibit C	FEMA Flood Insurance Rate Map
Exhibit D	NHESP Priority Habitats Map & NHESP Estimated Habitats Map
Exhibit E	Resource Area
Exhibit F	Project Drawing
Exhibit G	Architectural Drawings
Exhibit H	Abutter Notification, Radius Map and List of Abutters

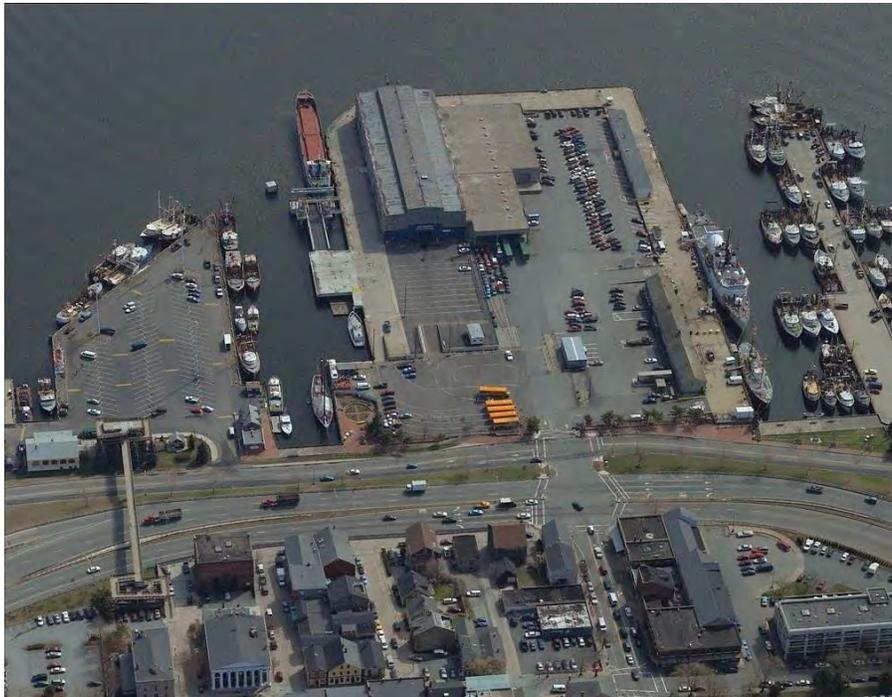
Exhibit A Project Narrative

Introduction:

The Department of Conservation and Recreation is proposing improvements and minor additions to Building #2 at the New Bedford State Pier. Improvements include installing eight (8) dock levelers on existing loading docks, construction of a concrete staircase located south of the facility, construction of concrete wing walls and a metal canopy on the east side of the facility, as well as enclosing an existing loading dock. In addition to the exterior modifications/additions, interior renovations are included as depicted in the architectural plans. Improvements and minor additions will refrigerate the entire building to maintain a cool temperature of 40 degrees Fahrenheit as well as improve access and functionality of Building 2.

Site Description:

The project site is located in the City of New Bedford, MA at 93 State Pier (Map 47 Lot 203 and Map 53 Lot 217). A Project Locus Map is provided in Exhibit B. The entire project site is located within Zone X according to FEMA map 25005C0393G, effective date 07/16/2014 (see Exhibit C). The State Pier is owned by the Commonwealth of Massachusetts and managed by the Department of Conservation and Recreation. Some of the activities and operations occurring at the State Pier are Ferry Terminal, cruise berthing, cargo transfer and events such as the Commercial Marine Expo. The project site is located within the buffer zone area as regulated under the MA Wetlands Protection Act (WPA). The project site property is outside mapped Estimated Wildlife Habitat and Priority Habitat as designated by the MA Natural Heritage and Endangered Species Program (NHESP)(see Exhibit D).



Aerial view of New Bedford State Pier

Existing Conditions:

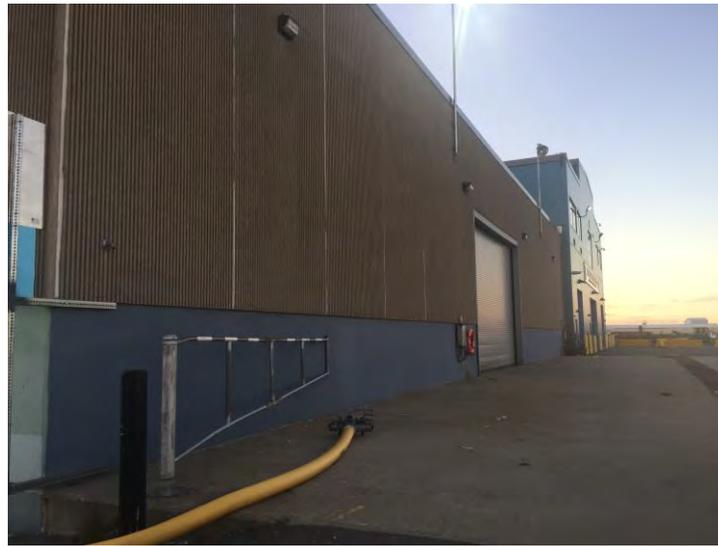
The existing State Pier facility is an 8.5-acre facility that contains two (2) buildings, which provide a total dry storage amount of 86,340sf. The facility is a bulkhead wharf of steel and stone construction with timber pile supported piers on the north, south, and east apron. The north, south, and east faces of the pier abut the waters of **New Bedford's Inner Harbor**. Improvements to the facility will be made on Building 2, which is being used as a refrigeration warehouse. Existing conditions of the project site are shown on the plans provided in Exhibit F.



West Side of Building 2



West Side of Building 2



East Side of Building 2

Project Description:

The proposed project will consist of installing dock levelers, enclosure of an existing loading dock, construction of concrete stairs, wing walls and a metal canopy.

Installation of dock levelers

The proposed eight (8) 6'x6.5' dock levelers, totaling 312sf will be installed on existing loading docks located on the west side of the facility. Installation of new dock levelers will give a wider range of trucks access to the building. Saw cutting and removal of existing concrete will be done in order to accommodate installation of the dock levelers.

Construction of concrete wing walls and metal canopy

The proposed (2) 12' wing walls and 40'x12' canopy, which total 480 sf, will be constructed on the east side of the existing facility. The wing walls will be erected on existing concrete slab.

Enclosure of existing loading dock and construction of concrete steps

On the south side of the building there is an existing loading dock. An enclosure of the existing loading dock totaling 800sf will be installed in order to maintain the proper temperature needed for the refrigerated warehouse. A concrete staircase (11.5'x5.5') will also be constructed on the south side of the existing loading dock for easy access to the warehouse.

Coastal Resource Areas:

The resource areas affected by the proposed project include:

- Buffer Zone (10.2b)

The proposed project is entirely within an existing developed area on the deck of the pier. There are no direct impacts to wetland resource areas. The limits of existing coastal resource areas within the vicinity of the proposed project are delineated on the plans provided in Exhibit F.

❖ BUFFER ZONE Pursuant to 310 CMR 10.2b.

No person shall remove, fill, dredge or build within a 200-foot buffer to wetlands resources areas without filing a written application for a permit under the WPA. The following construction activities are proposed within the 100-foot buffer zone established under the MA WPA:

- Construction of wing walls and a metal canopy

Work within the 100 ft-buffer strip permissible by the New Bedford Conservation Commission will be performed as conditioned by the issued Order of Conditions for this project and typically includes provisions for equipment and material storage, refueling restrictions and restoration of site at the completion of construction activities.

Mitigation Measures:

The project has been designed to avoid direct impacts to resource areas. Proposed improvements are within existing impervious areas. The following procedures will be followed:

- The Contractor shall adhere to all permit requirements and conditions.
- Debris from construction operations is to be cleaned up on a regular basis and disposed of off-site at a properly designated facility. Any floating debris shall be contained in the work area by floating booms and shall not be allowed to drift about the cove.
- No refueling of construction equipment shall be permitted in the immediate vicinity of any coastal resource area.

Conclusion:

The proposed project will provide needed improvements to the existing facility, and will improve/enhance the functionality of Building 2 at the New Bedford State Pier.

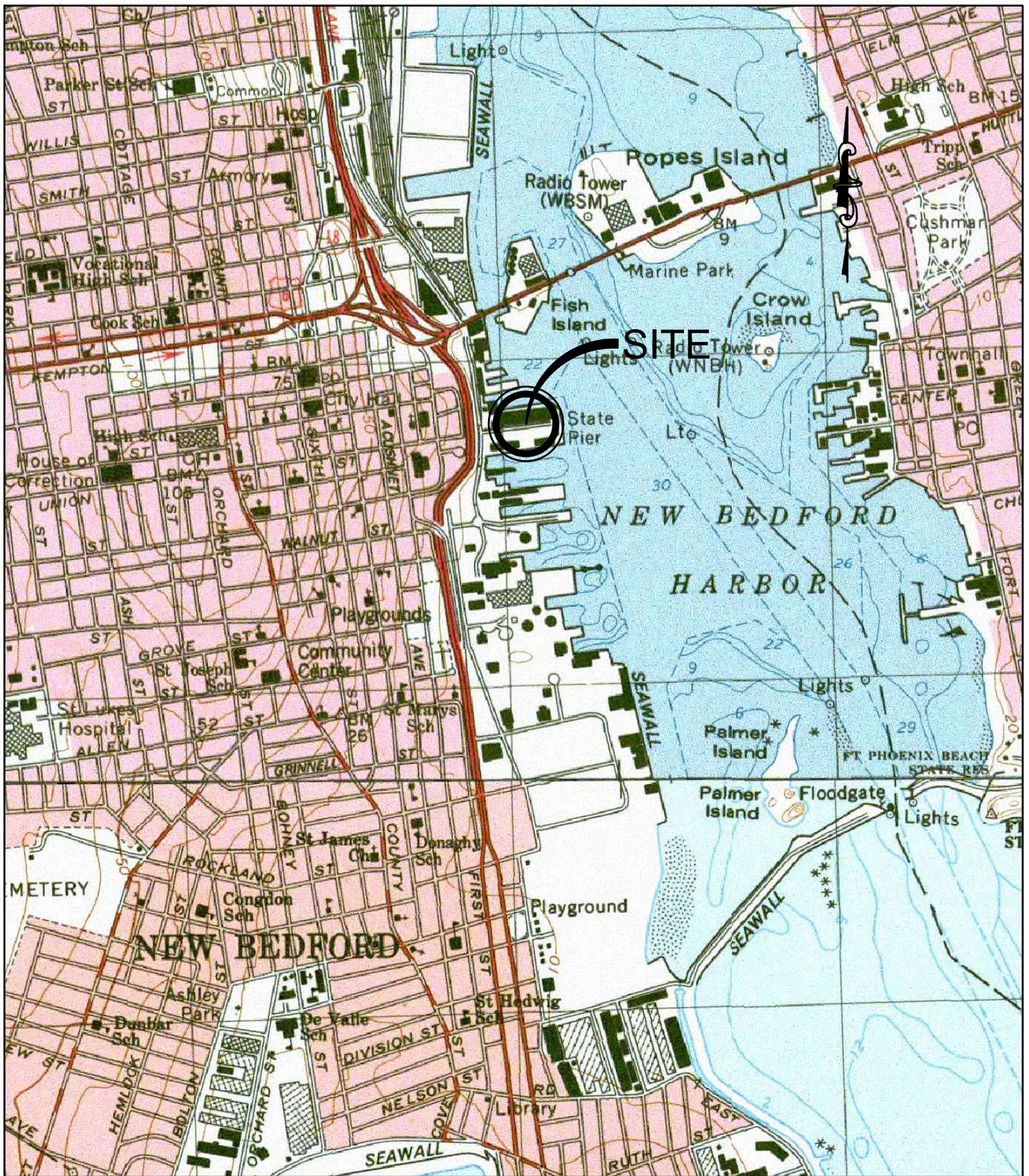
Notice of Intent
State Pier Building #2 Modifications

251 Causeway St. Suite 900
Department of Conservation and Recreation
June 2016

Exhibit B
Project Locus Map

cleengineering

15 Creek Road | Marion, Massachusetts 02738
t: 508.748.0937 | www.cleengineering.com



**EXHIBIT B
LOCUS MAP**

APPROX. SCALE: 1:1,300

NEW BEDFORD, MASSACHUSETTS

DEPT. OF CONSERVATION & RECREATION



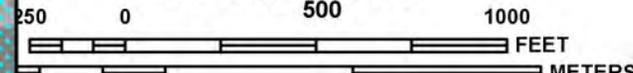
cleengineering

15 Creek Road | Marion, Massachusetts 02738
t: 508.748.0937 | www.cleengineering.com

Exhibit C
FEMA Flood Insurance Rate Map



MAP SCALE 1" = 500'



NFP

PANEL 0393G

FIRM

FLOOD INSURANCE RATE MAP
BRISTOL COUNTY,
MASSACHUSETTS
(ALL JURISDICTIONS)

PANEL 393 OF 550
(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

COMMUNITY	NUMBER	PANEL	SUFFIX
FAIRHAVEN, TOWN OF	250054	0393	G
NEW BEDFORD, CITY OF	255216	0393	G

NATIONAL FLOOD INSURANCE PROGRAM

New Bedford

Notice to User: The **Map Number** shown below should be used when placing map orders; the **Community Number** shown above should be used on insurance applications for the subject community.



MAP NUMBER
25005C0393G

MAP REVISED
JULY 16, 2014

Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at www.msc.fema.gov

Notice of Intent
State Pier Building #2 Modifications

251 Causeway St. Suite 900
Department of Conservation and Recreation
June 2016

Exhibit D
NHESP Priority Habitats Map
&
NHESP Estimated Habitat Map

cleengineering

15 Creek Road | Marion, Massachusetts 02738
t: 508.748.0937 | www.cleengineering.com

NHESP Priority_Estimated Habitats

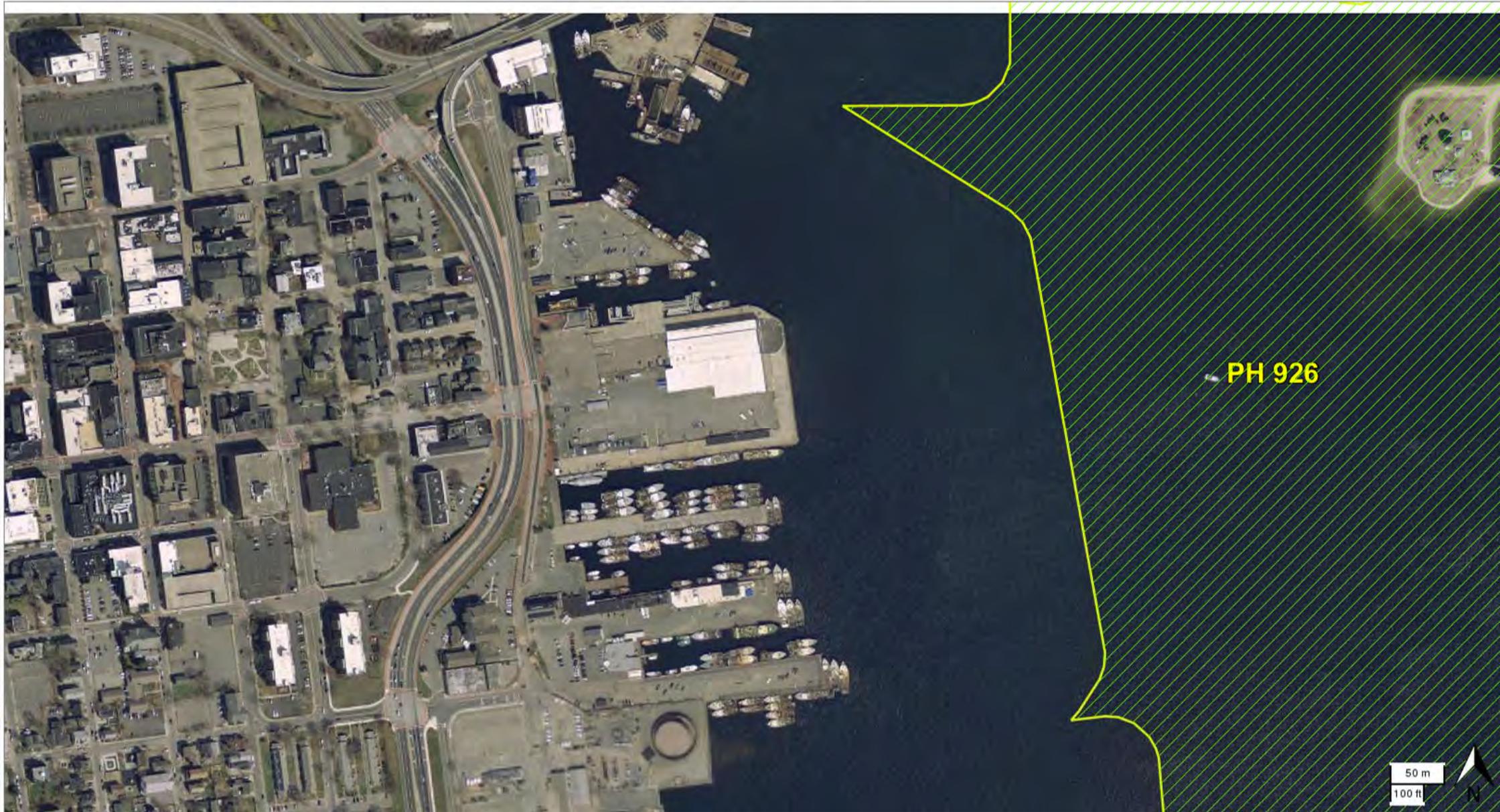
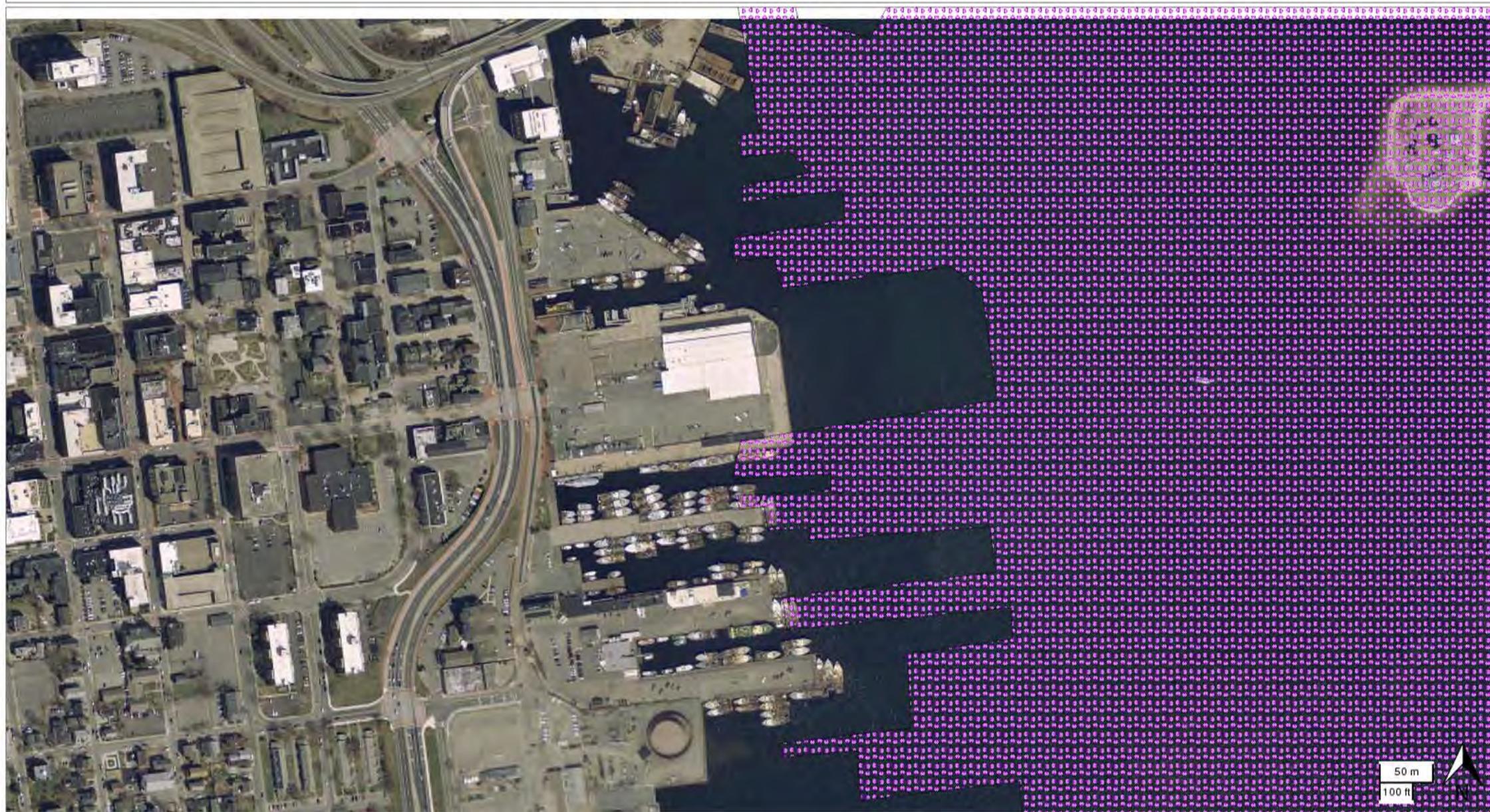


Exhibit E
Resource Areas

Shellfish Suitability Areas



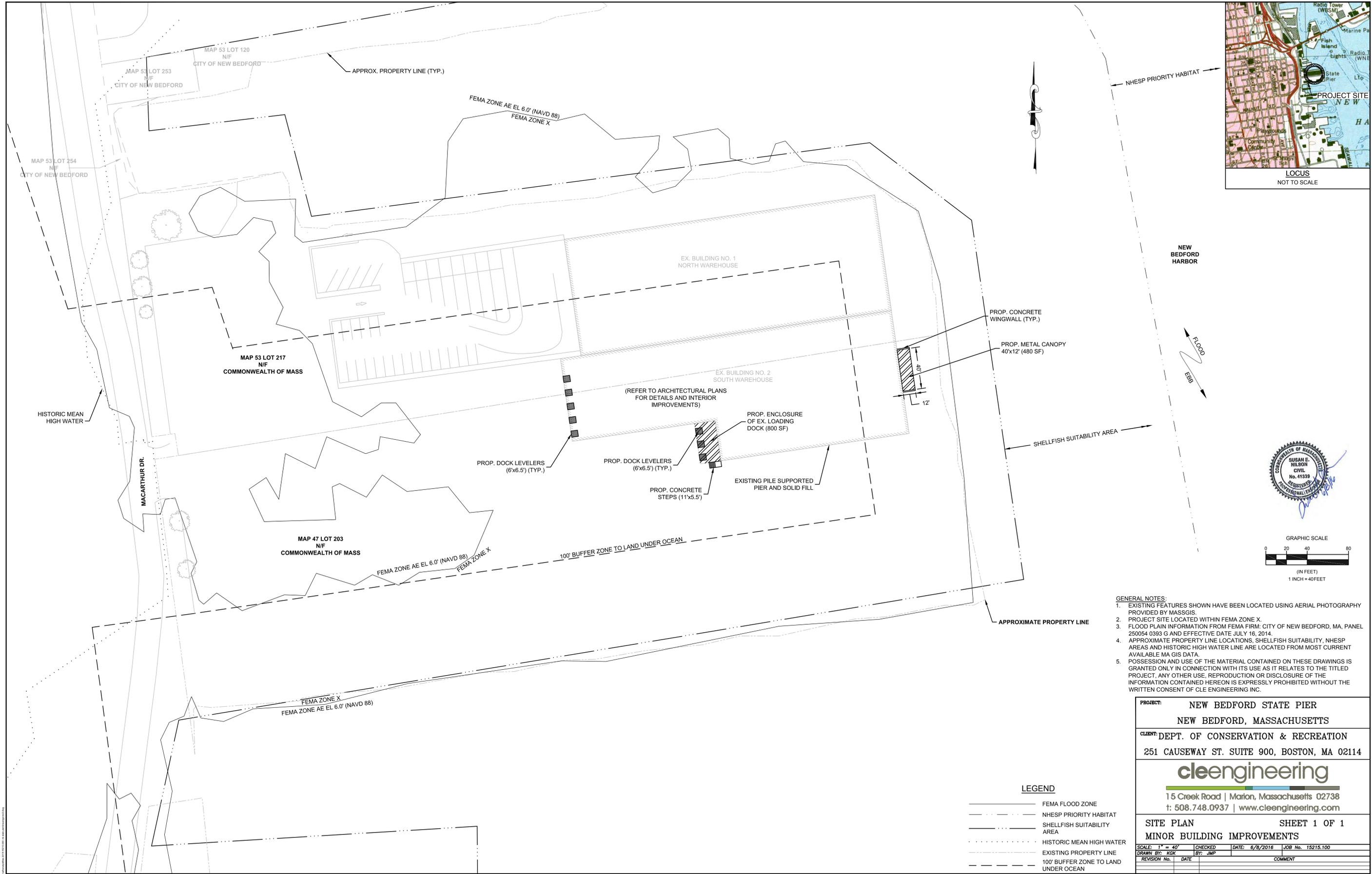
Notice of Intent
State Pier Building #2 Modifications

251 Causeway St. Suite 900
Department of Conservation and Recreation
June 2016

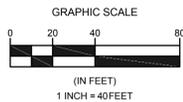
Exhibit F
Project Drawing

cleengineering

15 Creek Road | Marion, Massachusetts 02738
t: 508.748.0937 | www.cleengineering.com



- GENERAL NOTES:**
- EXISTING FEATURES SHOWN HAVE BEEN LOCATED USING AERIAL PHOTOGRAPHY PROVIDED BY MASSGIS.
 - PROJECT SITE LOCATED WITHIN FEMA ZONE X.
 - FLOOD PLAIN INFORMATION FROM FEMA FIRM: CITY OF NEW BEDFORD, MA, PANEL 250054 0393 G AND EFFECTIVE DATE JULY 16, 2014.
 - APPROXIMATE PROPERTY LINE LOCATIONS, SHELLFISH SUITABILITY, NHESP AREAS AND HISTORIC HIGH WATER LINE ARE LOCATED FROM MOST CURRENT AVAILABLE MA GIS DATA.
 - POSSESSION AND USE OF THE MATERIAL CONTAINED ON THESE DRAWINGS IS GRANTED ONLY IN CONNECTION WITH ITS USE AS IT RELATES TO THE TITLED PROJECT. ANY OTHER USE, REPRODUCTION OR DISCLOSURE OF THE INFORMATION CONTAINED HEREON IS EXPRESSLY PROHIBITED WITHOUT THE WRITTEN CONSENT OF CLE ENGINEERING INC.



LEGEND

- FEMA FLOOD ZONE
- - - NHESP PRIORITY HABITAT
- SHELLFISH SUITABILITY AREA
- HISTORIC MEAN HIGH WATER
- EXISTING PROPERTY LINE
- 100' BUFFER ZONE TO LAND UNDER OCEAN

PROJECT:		NEW BEDFORD STATE PIER NEW BEDFORD, MASSACHUSETTS	
CLIENT:		DEPT. OF CONSERVATION & RECREATION 251 CAUSEWAY ST. SUITE 900, BOSTON, MA 02114	
cleengineering 15 Creek Road Marion, Massachusetts 02738 t: 508.748.0937 www.cleengineering.com			
SITE PLAN		SHEET 1 OF 1	
MINOR BUILDING IMPROVEMENTS			
SCALE: 1" = 40'	CHECKED	DATE: 6/8/2016	JOB No. 15215.100
DRAWN BY: K GK	BY: J MP		
REVISION No.	DATE	COMMENT	

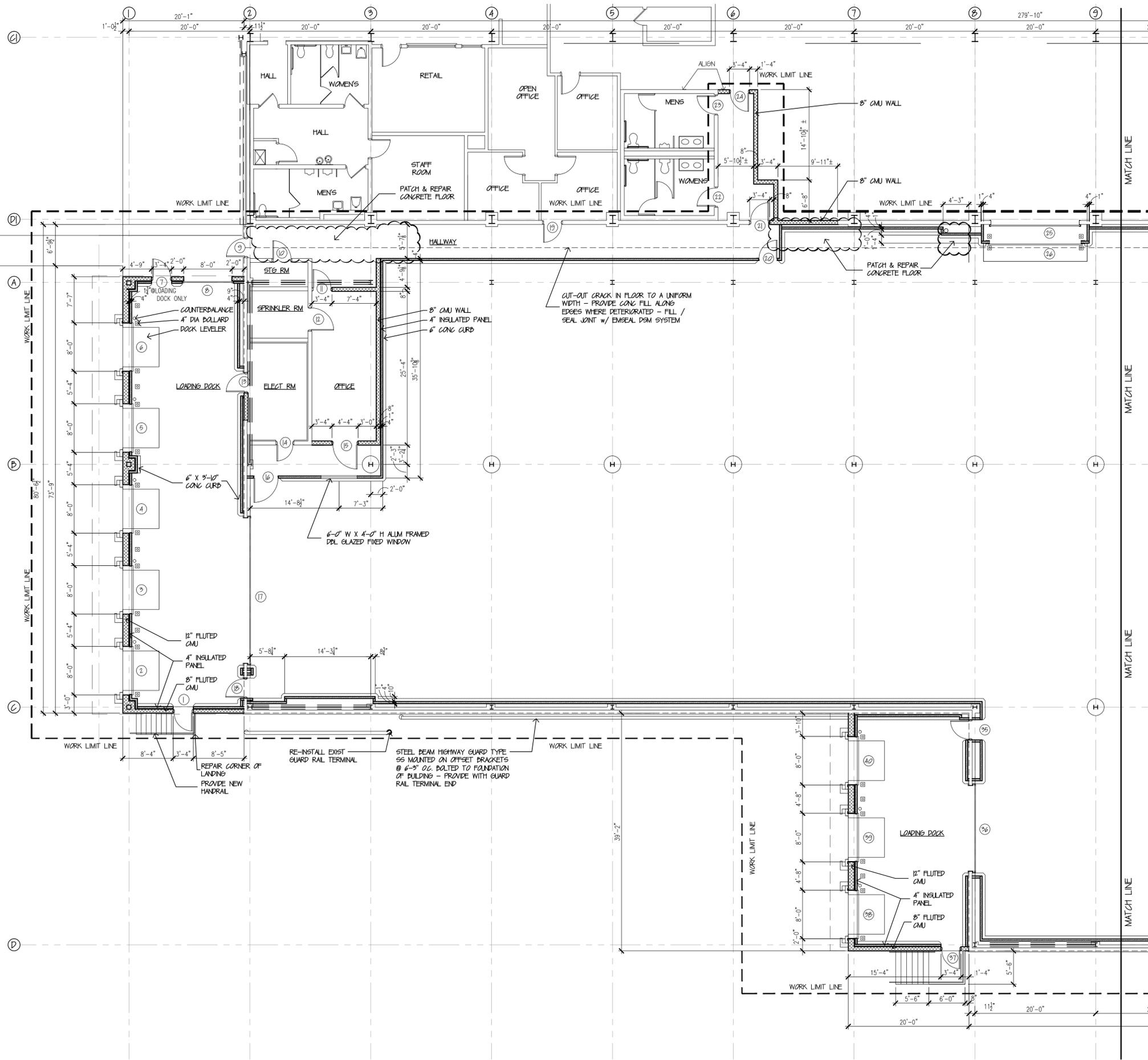
Notice of Intent
State Pier Building #2 Modifications

251 Causeway St. Suite 900
Department of Conservation and Recreation
June 2016

Exhibit G
Architectural Drawings

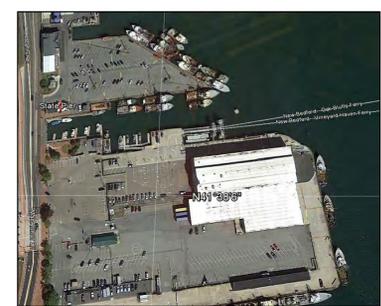
cleengineering

15 Creek Road | Marion, Massachusetts 02738
t: 508.748.0937 | www.cleengineering.com



GENERAL NOTES

1. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS, QUANTITIES AND SIZES. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER/ARCHITECT.
2. ANY AND ALL REVISIONS MADE BY CONTRACTOR SHALL BE APPROVED BY THE PROJECT ENGINEER OR ARCHITECT PRIOR TO COMMENCING WITH WORK. REVISIONS MADE WITHOUT SUCH APPROVAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
3. CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING THIS JOB TO FAMILIARIZE HIMSELF AS TO THE EXTENT OF WORK REQUIRED, AND EXISTING CONDITIONS, AND SHALL TAKE THESE INTO CONSIDERATION IN THE COST OF HIS BID.
4. ALL EQUIPMENT, MATERIALS, AND ANY OTHER ITEMS REMOVED BY THE WORK OF THIS CONTRACT AND DETERMINED AS TO BE SALVAGED BY THE PROJECT ENGINEER SHALL REMAIN THE PROPERTY OF THE OWNER. ALL OTHER EQUIPMENT, MATERIALS AND ANY OTHER ITEMS REMOVED BY WORK OF THIS CONTRACT SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND BE DISPOSED OF AT HIS EXPENSE.
5. CONSTRUCTION DEBRIS SHALL BE REMOVED ON A DAILY BASIS BY THE CONTRACTOR. DEBRIS SHALL NOT BE PLACED IN THE OWNERS TRASH CONTAINERS. LOCATION OF THE CONTRACTORS TRASH CONTAINERS SHALL BE DETERMINED BY THE PROJECT ENGINEER.
6. CONSTRUCTION DEBRIS SHALL BE REMOVED ON A DAILY BASIS BY THE CONTRACTOR. DEBRIS SHALL NOT BE PLACED IN THE OWNERS TRASH CONTAINERS. LOCATION OF THE CONTRACTORS TRASH CONTAINERS SHALL BE DETERMINED BY THE PROJECT ENGINEER.
7. THE CONTRACTOR SHALL COORDINATE WORK BETWEEN ALL TRADES AND WORKMEN TO CLOSE, PATCH AND REPAIR ALL HOLES WHERE ITEMS ARE REMOVED AND PROVIDE OPENINGS AS NECESSARY FOR NEW WORK.
8. ALL EXISTING SURFACES DAMAGED OR ALTERED BY THE WORK OF THIS CONTRACT SHALL BE REPAIRED AND/OR RECONSTRUCTED TO MATCH THE EXISTING ADJACENT SURFACES IN TEXTURE AND COLOR.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL NECESSARY PERMITS, SCHEDULING REQUIRED INSPECTIONS AND OBTAINING FINAL APPROVALS.
10. NO CUTTING OF STRUCTURAL MEMBERS WILL BE ALLOWED WITHOUT REVIEW AND APPROVAL OF THE ARCHITECT/ENGINEER.
11. THESE PLANS MUST BE USED IN CONJUNCTION WITH THE SPECIFICATIONS WHICH ARE A PART OF THE CONTRACT.
12. SAFETY IS OF THE UTMOST IMPORTANCE THIS PROJECT IS IN A PUBLIC SPACE WITH HIGH PEDESTRIAN TRAFFIC.
13. THE CONTRACTOR MAY BE DIRECTED TO PROVIDE ADDITIONAL SAFETY MEASURES AS MAY BE NECESSARY, AT ANY TIME BY THE OWNER.
14. THE ARCHITECTURAL DRAWINGS SHOW INITIAL AREAS WHERE WORK MUST BE ACCOMPLISHED UNDER THIS CONTRACT. INCIDENTAL WORK MAY ALSO BE NECESSARY IN AREAS NOT SHOWN ON THE ARCHITECTURAL DRAWINGS DUE TO CHANGES AFFECTING EXISTING MECHANICAL, ELECTRICAL, PLUMBING, OR OTHER SYSTEMS SUCH INCIDENTAL WORK IS ALSO A PART OF THIS CONTRACT. INSPECT THESE AREAS, ASCERTAIN WORK NEEDED, AND DO THAT WORK IN ACCORD WITH THE CONTRACT REQUIREMENTS, AT NO ADDITIONAL COST.
15. IT IS NOT THE INTENT TO SHOW EVERY PIECE OR ITEM TO BE REMOVED IN DEMOLITION WORK. MECHANICAL, ELECTRICAL AND OTHER WORK RELATED TO A WALL OR AREA SCHEDULED FOR DEMOLITION & REMOVAL SHALL BE PERFORMED WHETHER SO NOTED OR NOT. PROTECT ALL ITEMS INTENDED FOR SALVAGE AND REUSE OR SCHEDULED TO REMAIN.
16. TERMINATE, CAP AND REMOVE ALL ABANDONED ELECTRICAL CONDUIT, WIRING, BOXES, SWITCHES, ETC.; PLUMBING AND PIPING, ETC.; HVAC DUCTWORK, CONTROLS, PIPING, ETC. WHERE INDICATED OR REQUIRED.
17. WHEN EXISTING WALL SUBSTRATES REMAIN AS BASE SURFACES FOR INSTALLATION OF NEW FINISHES, PREPARE THOSE SURFACES BY REMOVING FINISHES WHERE INDICATED, FILL Voids AND SECURE OR REMOVE AND REPLACE ANY EXISTING LOOSE OR OTHERWISE UNSUITABLE SUBSTRATE MATERIALS. ADD BLOCKING WITHIN WALLS TO SECURE NEW MATERIALS, EQUIPMENT OR FURNISHINGS. PREPARE SUBSTRATE TO RECEIVE NEW FINISHES AS SPECIFIED.



KEY PLAN



LOCUS MAP

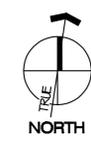
SK Stephen Kelleher Architects, Inc.
 Fairhaven Center for Business
 57 Alden Road
 Fairhaven, Massachusetts 02719
 508-992-2007 Fax 992-2021

**State Pier
 Additions & Renovations
 93 State Pier
 New Bedford, Massachusetts**

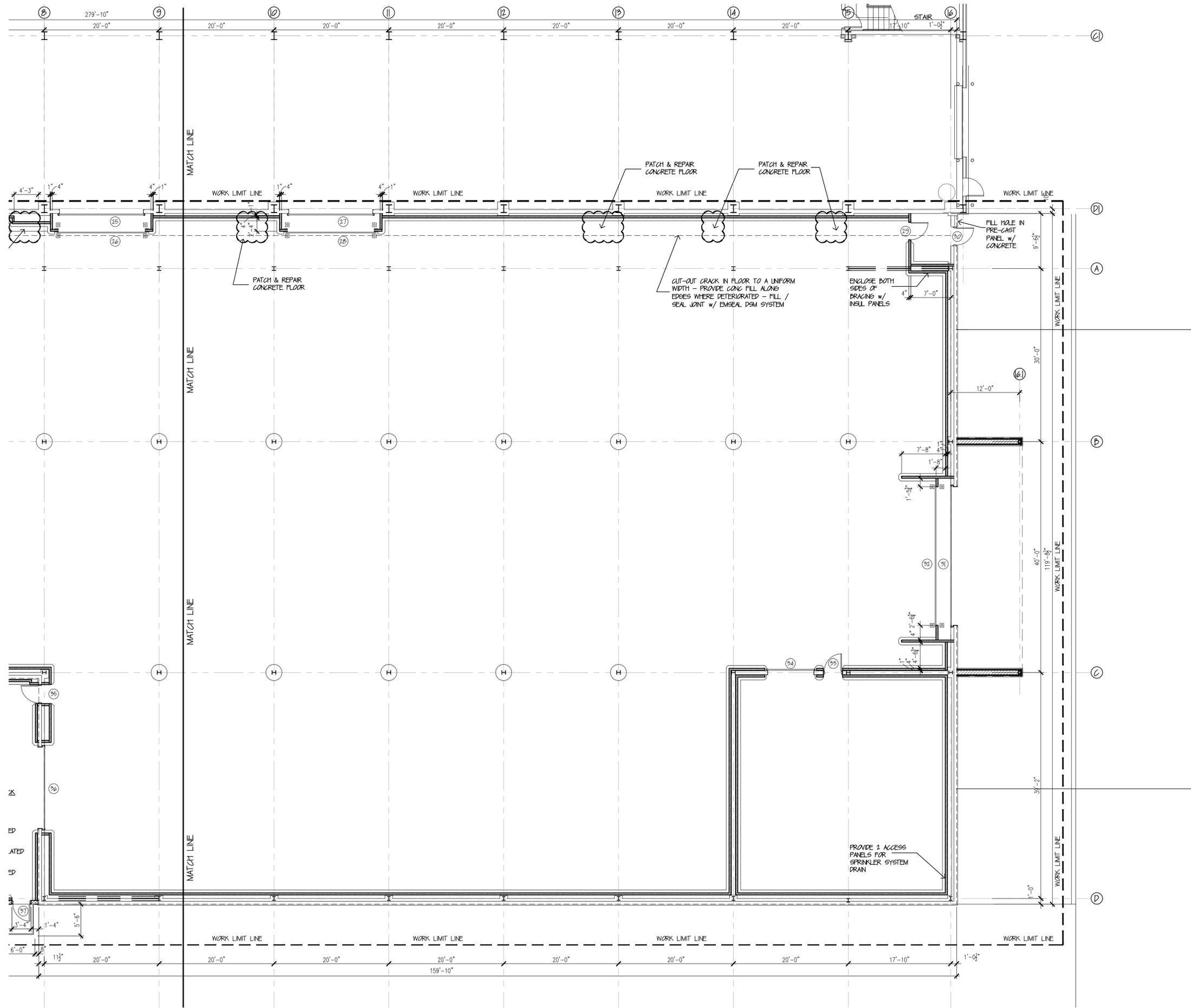
Partial Floor Plan

Drawn By:	PDQ
Checked:	SLK
Date:	8.10.2015
Scale:	AS NOTED

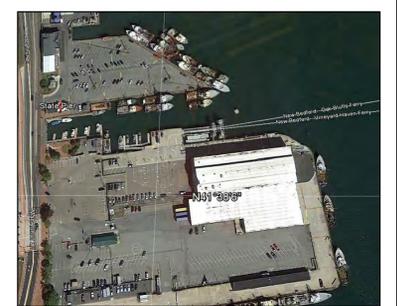
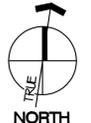
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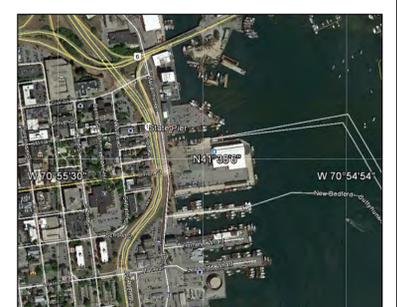
A PARTIAL FLOOR PLAN
 1/8" = 1'-0"



A PARTIAL FLOOR PLAN
1/8" = 1'-0"



KEY PLAN



LOCUS MAP

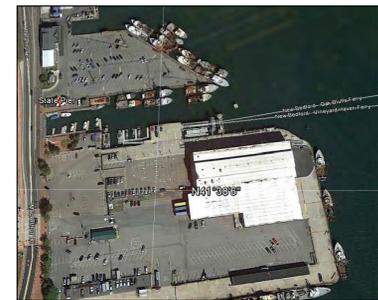
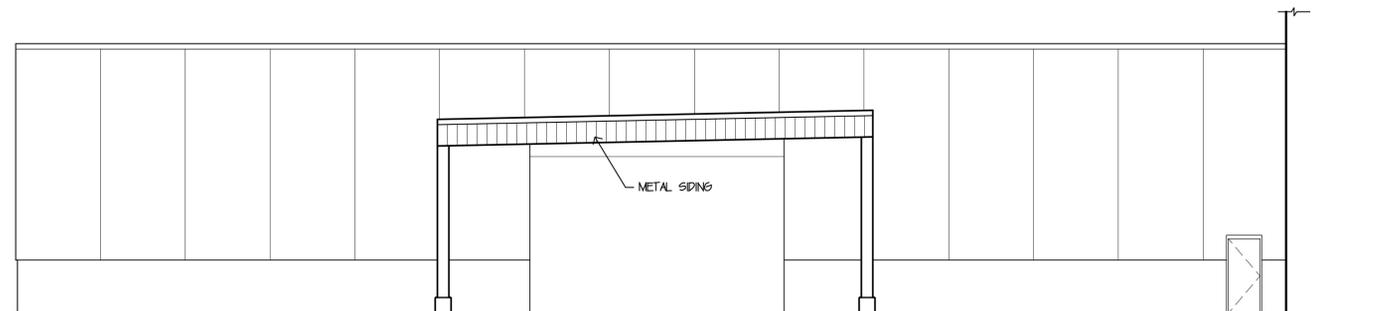
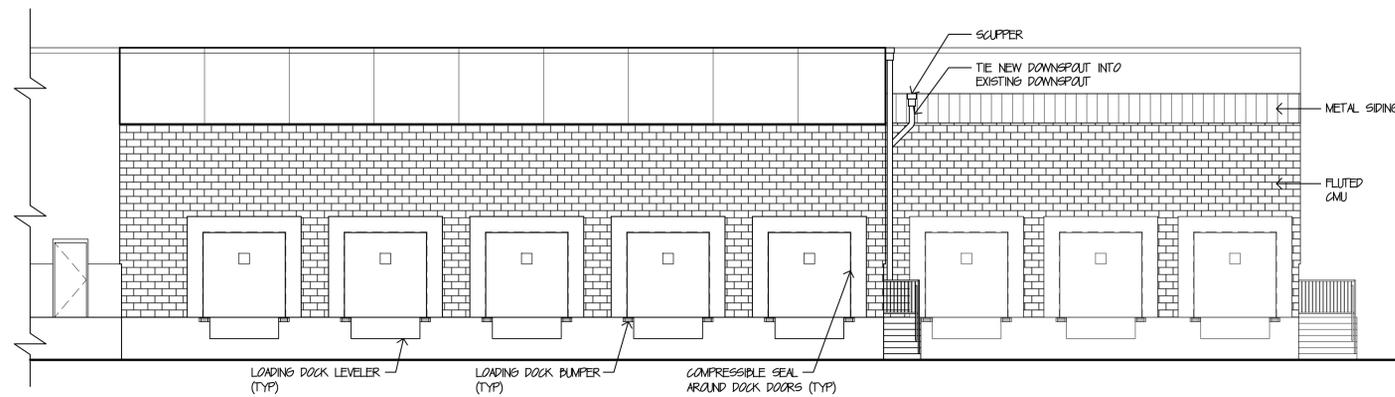
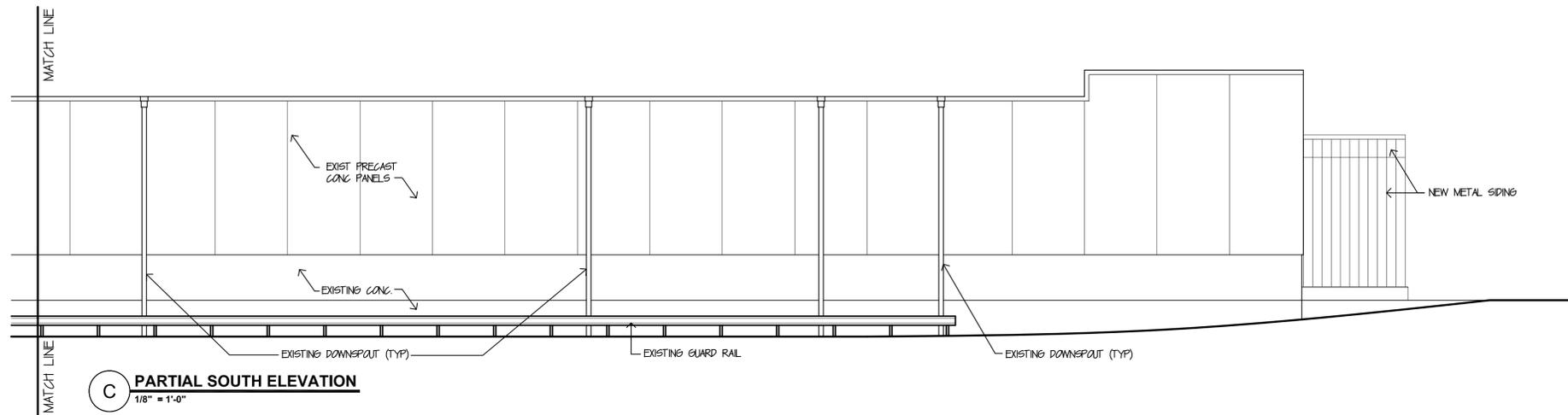
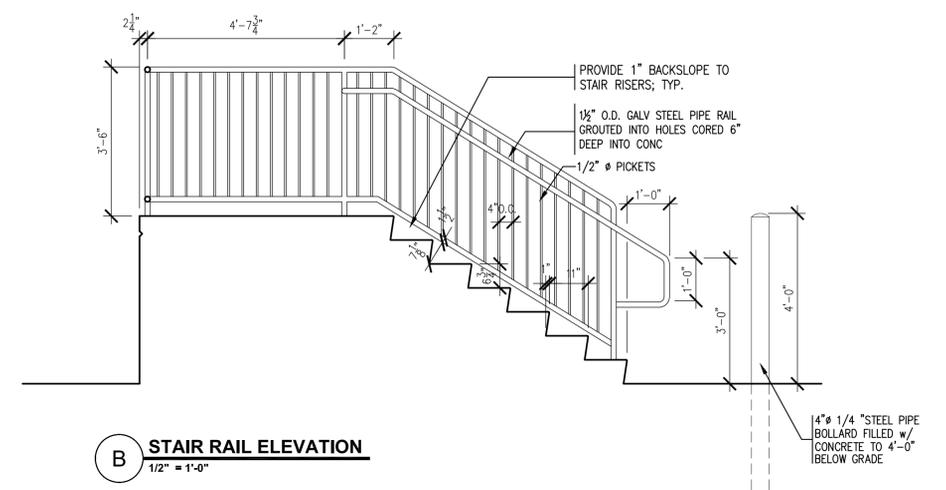
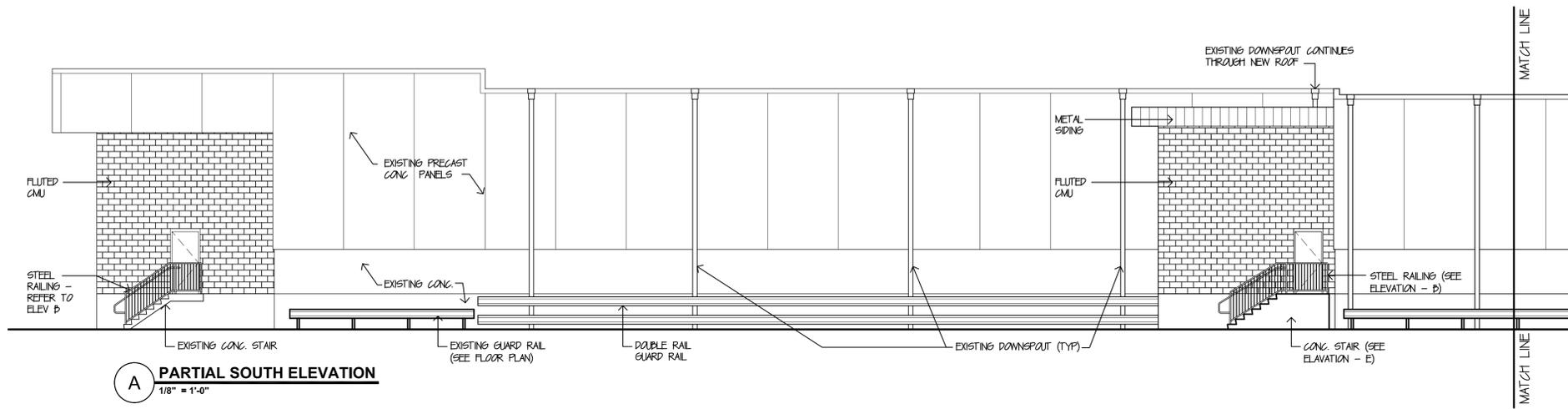
SK Stephen Kelleher Architects, Inc.
Fairhaven Center for Business
57 Aiden Road
Fairhaven, Massachusetts 02719
508-992-2007 Fax 992-2021

State Pier
Additions & Renovations
93 State Pier
New Bedford, Massachusetts

Partial Floor Plan

Drawn By:	PDQ
Checked:	SLK
Date:	8.10.2015
Scale:	AS NOTED

A-1.2



KEY PLAN



LOCUS MAP



Stephen Kelleher Architects, Inc.
 Fairhaven Center for Business
 57 Alden Road
 Fairhaven, Massachusetts 02719
 508-992-2007 Fax 992-2021

State Pier
 Additions & Renovations
 93 State Pier
 New Bedford, Massachusetts

EXTERIOR ELEVATIONS

Drawn By: PDQ / SM
 Checked: SLK
 Date: 8.7.2015
 Scale: AS NOTED

A-2.1

Exhibit H
Abutter Notification, Radius Map and List of Abutters



City of New Bedford
REQUEST for a CERTIFIED ABUTTERS LIST

This information is needed so that an official abutters list as required by MA General Law may be created and used in notifying abutters. You, as applicant, are responsible for picking up and paying for the certified abutters list from the assessor's office (city hall, room #109).

SUBJECT PROPERTY	
MAP #	53 & 47
LOT(S)#	217 & 203
ADDRESS:	93 State Pier, New Bedford, MA 02744
OWNER INFORMATION	
NAME:	Dept. of Conservation & Recreation
MAILING ADDRESS:	349 Lincoln Street, Hingham, MA 02043
APPLICANT/CONTACT PERSON INFORMATION	
NAME (IF DIFFERENT):	Katrina Krueger
MAILING ADDRESS (IF DIFFERENT):	15 Creek Road, Marion, MA 02738
TELEPHONE #	508-748-0937
EMAIL ADDRESS:	KKrueger@cleengineering.com
REASON FOR THIS REQUEST: <i>Check appropriate</i>	
<input type="checkbox"/>	ZONING BOARD OF APPEALS APPLICATION
<input type="checkbox"/>	PLANNING BOARD APPLICATION
<input checked="" type="checkbox"/>	CONSERVATION COMMISSION APPLICATION
<input type="checkbox"/>	LICENSING BOARD APPLICATION
<input type="checkbox"/>	OTHER (<i>Please explain</i>):

PLANNING
 JUN 07 2016
DEPARTMENT

Once obtained, the Certified List of Abutters must be attached to this Certification Letter.

Submit this form to the Planning Division Room 303 in City Hall, 133 William Street. You, as applicant, are responsible for picking up and paying for the certified abutters list from the assessor's office (city hall, room #109).

Official Use Only:

As Administrative Assistant to the City of New Bedford's Board of Assessors, I do hereby certify that the names and addresses as identified on the attached "abutters list" are duly recorded and appear on the most recent tax.

Carlos Amado

Printed Name

Signature

6/8/2016

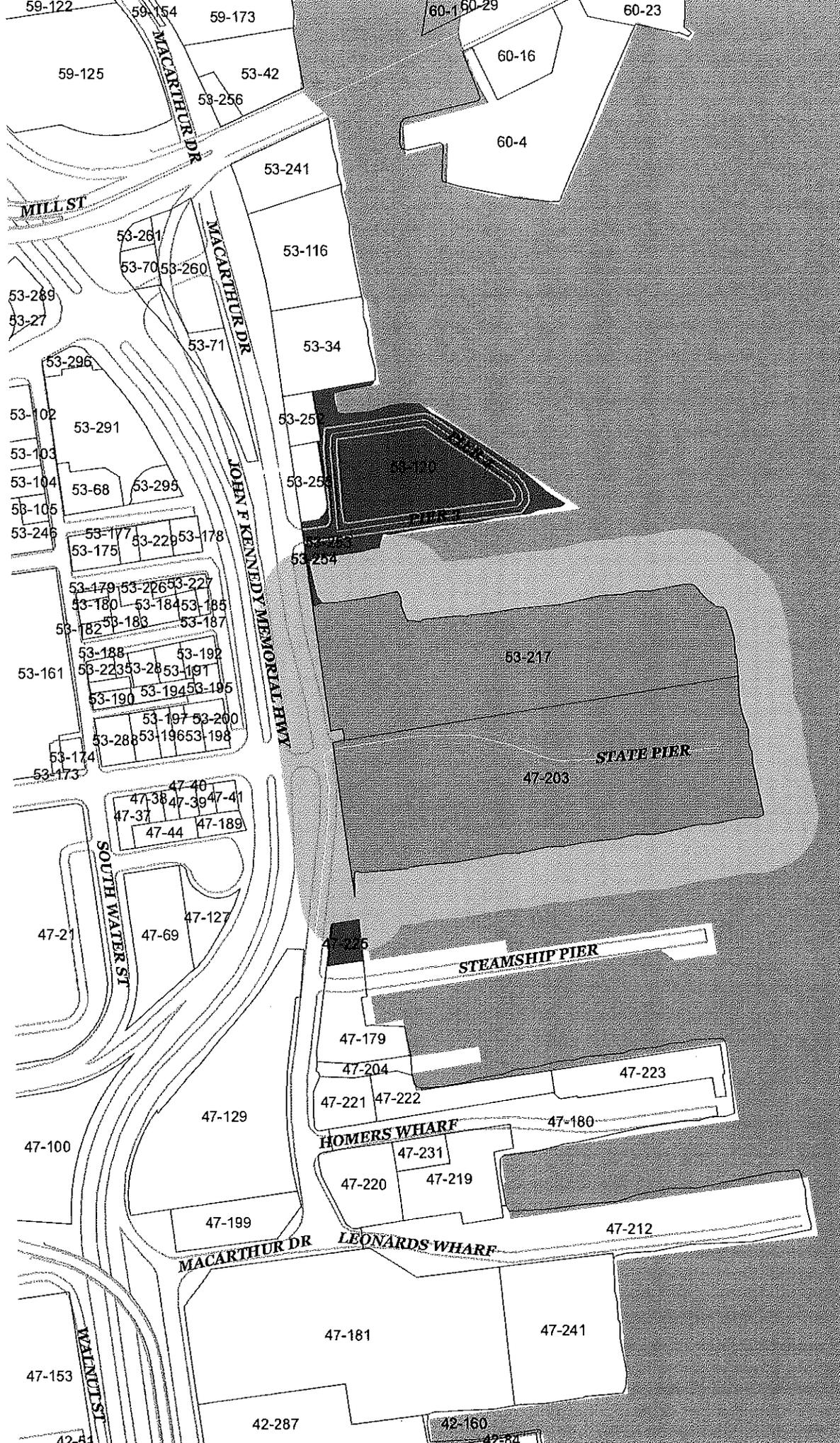
Date

June 7, 2016
Dear Applicant,

Please find below the List of Abutters within 100 feet of the property known as 93 State Pier (53-217 & 47-203). The current ownership listed herein must be checked and verified by the City of New Bedford Assessor's Office. Following said verification, the list shall be considered a Certified List of Abutters.

Please note that multiple listed properties with identical owner name and mailing address shall be considered duplicates, and shall require only 1 mailing. Additionally, City of New Bedford-Owned properties shall not require mailed notice.

Parcel	Location	Owner and Mailing Address
53-253	46 FISHERMAN'S WHF-48-52	CITY OF NEW BEDFORD, PIER 3 131 WILLIAM ST NEW BEDFORD, MA 02740
47-225 ES	MACARTHUR DR	CITY OF NEW BEDFORD, 131 WILLIAM ST NEW BEDFORD, MA 02740
53-120 ES	MACARTHUR DR	CITY OF NEW BEDFORD, 131 WILLIAM ST NEW BEDFORD, MA 02740
53-254 ES	MACARTHUR DR	CITY OF NEW BEDFORD, PIER 3 131 WILLIAM ST NEW BEDFORD, MA 02740
53-217	49 STATE PIER	COMMONWEALTH OF MASS, STATE PIER BUILDING NEW BEDFORD, MA 02740
47-203 B	MACARTHUR DR	COMMONWEALTH OF MASS, STATE PIER 133 WILLIAM STREET NEW BEDFORD, MA 02740



Legend

-  Site
-  Abutters
-  100'
-  Water

Notification to Abutters Under the Massachusetts Wetlands Protection Act

In accordance with the second paragraph of Massachusetts General Law Chapter 131, Section 40, you are hereby notified of the following:

- A. The name of the applicant is
Department of Conservation & Recreation

- B. The Applicant has filed a Notice of Intent with the Conservation Commission For the municipality of New Bedford, MA seeking permission to remove, fill dredge or alter an Area Subject to Protection Under the Wetlands Protection Act (General Laws Chapter 131, Section 40). The Notice of Intent may also only pertain to work within 100' of an Area Subject to Protection Under the Act. Please see D & E below to find out more about the application.

- C. The location of the lot where the activity is proposed is Assessor's Map 53 & 47 Lot(s) 217 & 203 ; street address (if applicable) 93 State Pier

- D. Copies of the Notice of Intent may be examined at the New Bedford Conservation Commission Office – Room 304 of City Hall, 133 William St., New Bedford between the hours of 8:30 AM and 4:00 PM Monday through Friday. For more information, call 508-991-6188.

- E. Copies of the Notice of Intent may be obtained from either (check one) the applicant or the applicant's representative X by calling this number 508.748.0937 between the hours of 9 AM and 4 PM on the following days of the week Mon.-Fri..

- F. Information regarding the date, time and place of the public hearing may be obtained from New Bedford Conservation Commission by calling 508-991-6188 between the hours of 8:00 AM and 4:00 PM Monday through Friday

Note: Notice of the Public Hearing, including its date, time and place shall be published at least (5) days in advance in The Standard Times.

Note: Notice of the public Hearing, including the date, time and location shall be posted in City Hall not less than forty-eight (48) hours in advance.

Note: you may also contact your local Conservation Commission or the MADEP Southeast Regional Office @ 508-946-2700 for more information about this Notice or the Wetlands Protection Act.