



City of New Bedford

Department of Planning, Housing & Community Development

608 Pleasant St, New Bedford, Massachusetts 02740
Telephone: (508) 979.1500 Facsimile: (508) 979.1575

PATRICK J. SULLIVAN
DIRECTOR

STAFF COMMENTS

PLANNING BOARD MEETING

March 9, 2016

Case #07-16: SITE PLAN REVIEW

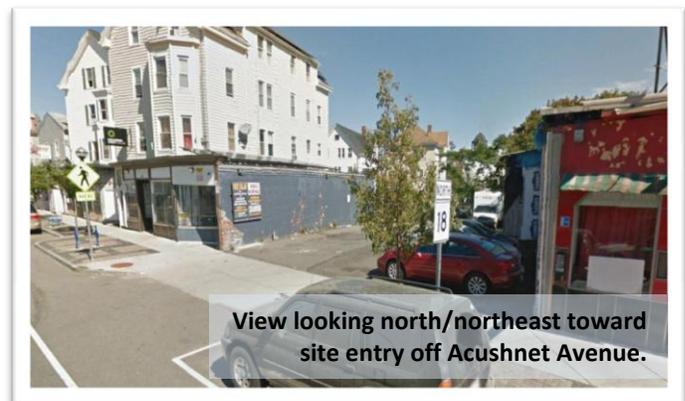
Commercial Parking Lot
ES Acushnet Avenue
Map 93, Lot 68

**Applicant/
Owner:**

Kevin Welch
1128 Acushnet Avenue
New Bedford, MA 02746

**Applicant's
Agent:**

Comprehensive Design-Build Service
P.O. Box 578
West Wareham, MA 02576



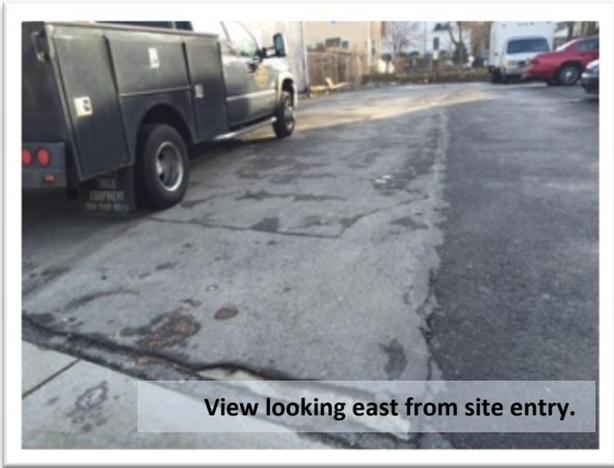
Overview of Request

Request to consider Site Plan approval under Chapter 9 Comprehensive Zoning, Section 5400, Section 3300 - Screening and Landscaping, and Section 3100 – Parking and Loading for the construction of a commercial parking lot consisting of eight (8) spaces on a 4,728+/- SF parcel located at the east side of Acushnet Avenue (Map 93, Lot 68), in the Mixed Use Business (MUB) zoning district.

The site is located north of Coggeshall Street within the Acushnet Avenue International Marketplace District. The Acushnet Avenue International Marketplace is an initiative to redesign a section of Acushnet Avenue from Coggeshall Street to Nash Road, in a way that enhances the vibrancy of this key business district.

Existing Conditions

The subject parcel is currently paved edge to edge with bituminous asphalt. The applicant states this was the site of a three (3) story structure consisting of two apartments and one street front business that was destroyed by fire over eight years ago. The building footprint of the structure was subsequently filled and covered with bituminous asphalt, creating pavement seams between the previous impervious surface and the apparent infill area.

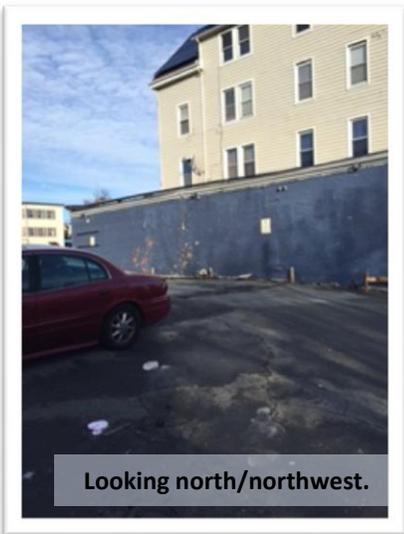


View looking east from site entry.

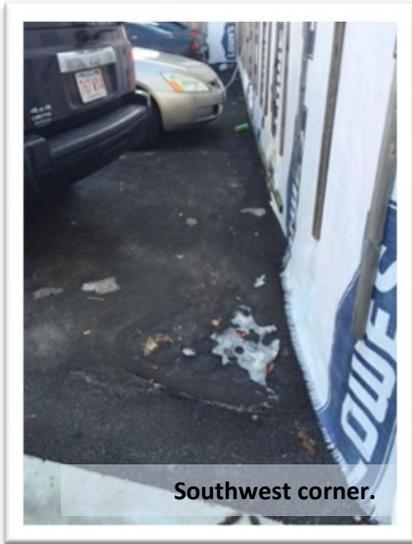


View looking west toward site entry from the middle/rear of the subject lot.

The land slopes gently to the back of the site, toward the abutting parcel shown on plans as WS Howard Street (Plot 93, Lot 73). There is evidence of subsidence at the southeast corner of the site, proximal to 1118 Acushnet Avenue (Plot 93, Lot 259). Icy surface areas were noted by staff.



Looking north/northwest.



Southwest corner.



Gentle Slope.



View looking south.

The structure at the southern abutting lot line occupying 1118 Acushnet Avenue appears to be in a phase of reconstruction.

There is a deeded easement for a right-of-way to pass and repass between Coggeshall Street and Acushnet Avenue over lots described as 1, 2, 3, 4 and 5 (see figure on following page) on entitled Plan of Land in New Bedford drawn for Antonio Perreira on February 10, 1987 and recorded at the Bristol County (S.D.) Registry of Deeds (Attachments 1 A & 1B). Research finds lots are currently known as Assessor's Parcel Map 93, Lots 68, 259, 258, 266, 69 and 257.

Section 3300-Screening and Landscaping, inclusive of 3330-3360, clearly outlines the purpose, applicability, requirements, maintenance and special permit stipulations for any reduction of screening and landscaping.

The landscape plan proposes six (6) Emerald Green Thuja (also known as Emerald Green Arborvitae), or equal, to soften the edges of the hardscape and provide transpiration. As noted on sheet LS1.0 - Planting Details & Notes, number 15 prescribes that "Three inches of finely shredded bark mulch shall be spread 5 to 7 feet around trees and 3 feet around shrubs. Bare soil shall be left at the base of the plant to avoid trunk suffocation or rot." Details & Notes also stipulate the planting pit to be at least twice the diameter of the root ball.

The applicant states he intends to complete the striping of the lot within three months of plan approval.

Review Comments

As required under city ordinance, the case submittal documents were distributed to City Clerk, City Solicitor, Health Department, Inspectional Services, Engineering, Public Infrastructure, Conservation Commission, Fire Department and School Department.

- DPI comments: *As the owner is proposing to handle the storm water runoff with a 2 foot wide plant and drainage gravel bed at the east side of the lot, and due to the existing conditions, location and size of the lot, DPI has no other comments regarding the proposal.*
- Conservation comments: *The proposed project is not in or within 100' of State or Local Wetland Resources. Therefore, no permit is required from the Conservation Commission for this proposal.*

The Planning Department awaits other comments.

Site Plan Review

Plans submitted for consideration:

The submittal is shown as the Proposed Parking Lot for Kevin Welch at ES Acushnet Avenue in New Bedford, MA, dated 00.00.2015, as prepared by Comprehensive Design-Build Services, P.O. Box 578, West Wareham, MA 02576 consisting of four (4) plan sheets (Attachment 3).

Cover Sheet C0.1

Omissions: Add the correct date the plan was created.
Add Deed Book and Page numbers.

Existing Conditions Site Plan C1.1

Omissions: Add the correct date the plan was created.
Add Deed Book and Page numbers.
Sheet C1.1 incorrectly identifies Kevin Welch as owner of Map 93, Lot 258. This information shall be corrected to read Map 93, Lot 68.

Proposed Site Plan C1.2

Omissions: Call out on the plan the material to be used and dimensions for curb stops.
Dimension on the plan the No Parking Area sign.
Dimension the Compact Car space.
Dimension the aisle width, showing at least 22 feet for passage.

Planting Details and Notes LS1.0

Omissions: The shrub planting detail appears to be crossed out. Please clarify if this is to be omitted from consideration.

There appears to be a conflict regarding planting requirements and width and materials used for drainage area. (See Note #15 and description of planting pit.)

Waiver Requests

The applicant has requested the following five (5) waivers for submittal of plans and documents from Site Plan Review - Section 5400 (Attachment 4):

- 5451.b. Topography and drainage plan, which shall contain the existing and proposed final topography at two-foot intervals and plans for handling stormwater runoff drainage.
- 5451.c. Utility plan, which shall include all facilities for refuse and sewerage disposal or storage of all these wastes, the location of all hydrants, fire alarm and firefighting facilities on and adjacent to the site, all proposed recreational facilities and open space areas, and all wetlands including floodplain areas.
- 5451.d. Architectural plan, which shall include the ground floor plan, proposed exterior building materials, treatments and colors and architectural elevations of all proposed buildings and a color rendering where necessary to determine the proposal's affect on the visual environment.
- 5451.f. Lighting plan showing the location and orientation of all existing and proposed exterior lighting, including building and ground lighting. The plan shall note the height, initial foot-candle readings on the ground and the types of fixtures to be used.
- 5454. Drainage calculations; the site plan shall be accompanied by drainage calculations by a registered professional engineer as well as wetland delineations, if applicable. Storm drainage design must conform to City of New Bedford subdivision regulations.

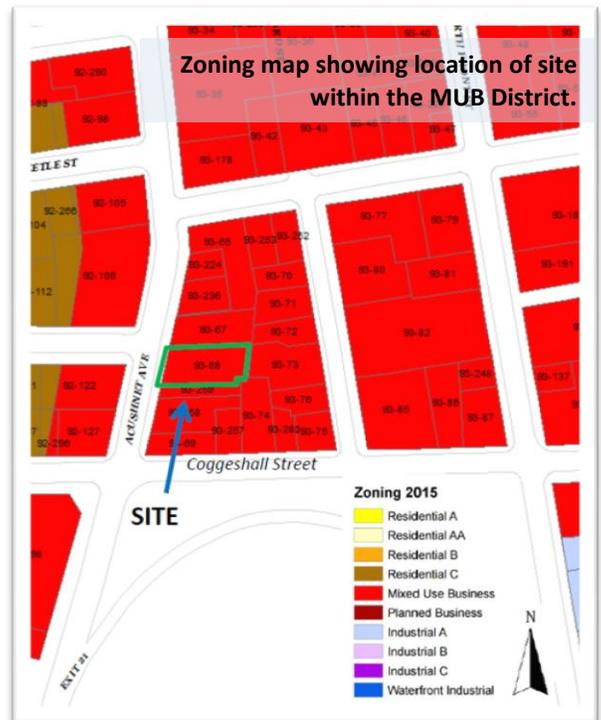
Master Plan Goal

This proposal is consistent with the master plan's goal (of establishing a sound foundation for future growth that builds upon its coastal location, preserves its historic legacy, and expands cultural and workforce opportunities) as it improves the neighborhood, aids in developing strategic sites known as The Acushnet Avenue International Marketplace, and may attract emerging business by providing off street parking.

For Board Member Consideration

Curb stops. For safety reasons and protection of existing structures and landscaping, the Board may wish to consider the following condition compelling the applicant to install parking stops at the north, south and east edge of parking area:

- Call out on the Proposed Site plan sheet C1.2 the a) material to be used for construction and b) dimensions for curb stops.



HP parking. The proposal is for a commercial parking lot. Although the applicant is not required to provide accessible spaces for a lot providing less than 15 parking spaces under 521: CMR, given that ADA regulations stipulate one handicap accessible parking space for up to 14 parking spaces the Board may wish to consider a condition requiring the provision of one designated handicap space for users of the parking lot as follows:

- If the Board conditions approval of the plan, the applicant should illustrate the ADA compliant space on the revised Proposed Site Plan – C1.2, add the number to the Zoning Matrix found on Cover Sheet C0.1s and ensure the appropriate signage indicating same is installed per the Commissioner of Inspectional Services.

Plan corrections. Staff recommends the Board consider a condition requiring compliance with the corrections presented herein:

- Plans should reflect an accurate drawing date.
- Show typed deed book and page number that is currently hand written on sheets C0.1, C1.1, C1.2
- Map and lot information on Sheet C1.1 incorrectly identifies Kevin Welch as owner of Map 93, Lot 258; correction needed to accurately reflect Map 93, Lot 68.
- Sheets C1.1 and C1.2 - Dimension the Compact Car parking area, require numbered the spaces, dimensions for the driveway opening, and sidewalk widths added to the plan.
- Aisle width should be dimensioned on plan sheet C1.2 to show the minimum 22 foot New Bedford code requirement.
- Sheet LS1.0 shrub planting detail appears is crossed out; applicant shall clarify if this is to be omitted from consideration and delete from drawing if shrub plantings are inapplicable.
- Planting requirement specs shall be reconciled to eliminate existing conflict regarding planting requirements and width and materials used for drainage area. (See sheet LS1.0 -Note #15 and description of planting pit.)
- The Site Plan Review Application shall be corrected to read, Mixed Use Business. Rather than “business” as presently noted. This correction should also be made on the Narrative, where the area is referred to as “Multi Use Business”.
- The proposed project stated on the Narrative, is to “strip” the existing bituminous asphalt. The applicant should clarify the purpose of the case submittal, which is to “stripe” the lot to illustrate the location and layout of parking spaces.
- The applicant should correct the typo in the Narrative that currently states 4,547 sf, to read 4,728 sf.

Repavement. Although it is the understanding of staff that the applicant intends on repairing/repaving the entire parking lot, the Board may wish to consider a condition clearly stating such:

- Owner shall ensure the timely and proper repair and repaving of the parking lot as proposed.

Lighting. For safety reasons, staff recommends the Board review and approve of lighting on the site, or if preferred, include the following condition in any approval:

- The city planner shall review and approve of lighting for the site to ensure safety and appropriate coverage that does not extend past site lines.

While there are a few issues to be addressed and resolved with the plan as it is presented, this proposal for Site Plan Approval is consistent with the master plan’s goal to improve the neighborhood setting. The plan communicates a positive message for business development by providing additional parking to meet the community’s business needs and minimize on-street parking in residential areas of the Acushnet Avenue International Marketplace.

Attachments:

1. 1-A - Deed Bristol County (S.D) Registry of Deeds Book 10172, Page 250

1-B – Plan Land Drawn for Antonio Perreira dated Feb. 10, 1987

2. Narrative
3. Plan Set
4. Waiver Requests
5. Photos
6. Site Plan Review Application

MASSACHUSETTS

revised 01/02/92
REO #P1105Y9

FEDERAL NATIONAL MORTGAGE ASSOCIATION A/K/A FANNIE MAE, a corporation organized under an Act of Congress and existing pursuant to the Federal National Mortgage Association Charter Act, having its principal office in the City of Washington, District of Columbia, and an office for the conduct of business of P.O. Box 650043, Dallas, TX 75265-0043, (hereinafter called the Grantor) for consideration of **FOURTEEN THOUSAND SIX HUNDRED AND 00/100 (\$14,600.00) DOLLARS PAID**, grants to **Kevin Welch, Individually**, of P.O. Box 413, Dummer MA, with quitclaim covenants,

The land in said New Bedford, Bristol County, Massachusetts with the buildings thereon, bounded and described as follows:

Beginning at a point on the easterly side of Acushnet Ave, approximately 95.14 feet northerly of the intersection of the easterly line of Acushnet Ave and the northerly line of Coggeshall Street, and at the northwesterly corner of other land now or formerly of Antonio Pereira;

Thence N. 11 degree 41' 25" E. 46.71 feet in said easterly line of Acushnet Ave to a point and a corner; ✓

Thence N. 87 degrees 51' 02" E. 105.48 feet by lot 67 to a corner; ✓

Thence southwesterly 43.05 feet by lot 6 on said plan to a corner; ✓

Thence westerly 10.83 feet to lot 74 on said plan to a corner; ✓

Thence S. 01 degrees 44' 33" E. 5.39 feet by lot 74 on said plan to a corner; ✓

Thence S. 87 degrees 39' 09" W. 100.90 feet by an arty wall and lot 2 on said plan to the point of beginning. ✓

Containing 4,728 square feet, more or less, and shown as lot 1 on said plan.

Together with an easement to pass and repass from lot 1 to Coggeshall Street over lots 2, 3, 4 and 5 as shown on said plan over that portion of lots 2, 3, 4 and 5 which is not presently occupied by buildings, to our knowledge. }

The within conveyed is subject to easements, agreements, restrictions and rights of way of record, if any there be, insofar as the same are now in force and application.

1120 Acushnet Ave. New Bedford

PLANNING
FEB 12 2016
DEPARTMENT
CAB 07.16

GRANTEE HEREIN SHALL BE PROHIBITED FROM CONVEYING CAPTIONED PROPERTY FOR A SALES PRICE OF GREATER THAN \$17,520.00 FOR A PERIOD OF THREE MONTHS FROM THE DATE OF THIS DEED. GRANTEE SHALL ALSO BE PROHIBITED FROM ENCUMBERING SUBJECT PROPERTY WITH A SECURITY INTEREST IN THE PRINCIPAL AMOUNT OF GREATER THAN \$17,520.00 FOR A PERIOD OF TWO MONTHS FROM THE DATE OF THIS DEED. THESE RESTRICTIONS SHALL RUN WITH THE LAND AND ARE NOT PERSONAL TO GRANTEE.

THIS RESTRICTION SHALL TERMINATE IMMEDIATELY UPON CONVEYANCE AT ANY FORECLOSURE SALE RELATED TO A MORTGAGE OR DEED OF TRUST.

FOR TITLE REFERENCE, see Foreclosure Deed recorded with the Bristol County (South District) Registry of Deeds in Book 10162, Page 142.

UNDER AND SUBJECT to any existing covenants, easements, encroachments, conditions, restrictions, and agreements affecting this property.

THIS DEED is given in the usual course of the Grantor's business and is not a conveyance of all or substantially all of the Grantor's assets in Massachusetts.

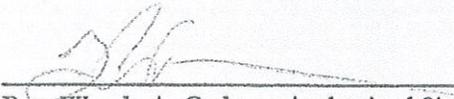
THE GRANTOR is exempt from paying the Massachusetts state excise stamp tax by virtue of 12 United States Code §1452, §1723a, or §1825.

TOGETHER WITH all and singular the improvements, ways, streets, alleys, passages, water, watercourses, right, liberties, privileges, hereditaments, and appurtenances whatsoever hereto belonging or in anywise appertaining and the reversions and remainders, rents, issues and profits thereof, and all the estate, right, title, interest, property, claim and demand whatsoever of the said Grantor in law, equity, or otherwise howsoever, of and to the same and every part thereof.

PLANNING
FEB 12 2016
DEPARTMENT
Case 07-16

WITNESS the execution and the corporate seal of said corporation this 6th day of October, 2011.

FEDERAL NATIONAL MORTGAGE ASSOCIATION
A/K/A FANNIE MAE
By: Harmon Law Offices, PC, its attorney in fact


By: Wendy A. Carlson, Authorized Signer

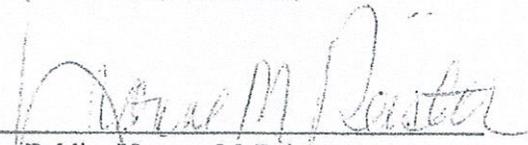
FOR SIGNATORY AUTHORITY, SEE LIMITED POWER OF ATTORNEY RECORDED AT THE BRISTOL COUNTY (SOUTH DISTRICT) REGISTRY DISTRICT OF THE LAND COURT AS DOCUMENT NO. 103792. and Document No. 103793.

COMMONWEALTH OF MASSACHUSETTS

Middlesex, ss.

October 6, 2011

On this 6th day of October, 2011, before me, the undersigned notary public, personally appeared Wendy A. Carlson, as Authorized Signer for Harmon Law Offices, PC, as Attorney In Fact for Federal National Mortgage Association a/k/a Fannie Mae, proved to me through satisfactory evidence of identification, which was personal knowledge to be the person whose name is signed on the preceding or attached document, and acknowledged to me that s/he signed it voluntarily as his/her free act and deed and the free act and deed of Federal National Mortgage Association a/k/a Fannie Mae, before me,


Notary Public: Yvonne M. Reister
My Commission Expires: 1/19/2018

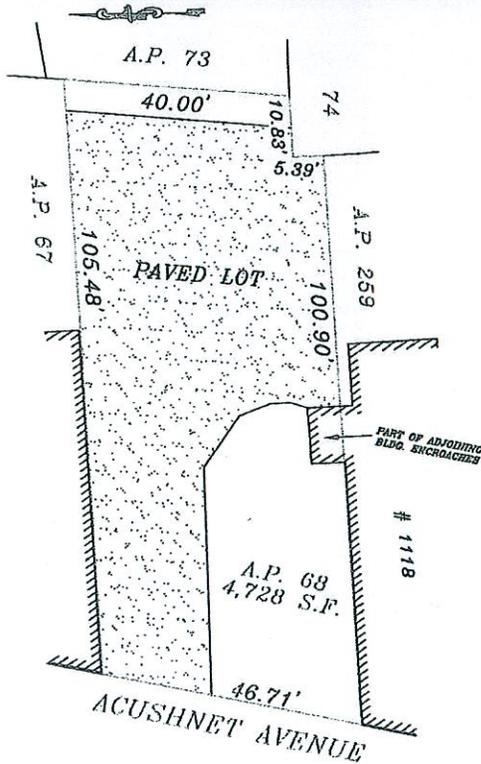


PLANNING
FEB 12 2013
DEPARTMENT
CASS OZCC

File number: 110916-6	UNREGISTERED LAND		
Attorney: LAW OFFICE OF KEVIN MEDEIROS*	Deed Book 6963	Page 276	
Lender:	Plan Book 116	Page	Lot(s) 68
Owner: FANNIE MAE	REGISTERED LAND		
	Reg. Book	Sheet	Lot(s):
Date: 9/20/2011	Certificate of Title		
Assessor's Map 93 Blk: Lot 68	Census Tract		

MORTGAGE INSPECTION PLAN
1120 ACUSHNET AVENUE, NEW BEDFORD, MA

Scale: 1"=25'



CERTIFICATION

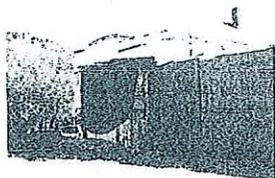
I CERTIFY TO THE ABOVE ATTORNEY, BANK, AND THEIR TITLE INSURANCE COMPANY THAT THE MAIN BUILDING, FOUNDATION OR DWELLING WAS IN COMPLIANCE WITH THE LOCAL ZONING BYLAWS IN EFFECT WHEN CONSTRUCTED (WITH RESPECT TO STRUCTURAL SETBACK REQUIREMENTS ONLY) OR IS EXEMPT FROM VIOLATION ENFORCEMENT ACTION UNDER MASS. GENERAL LAW TITLE VII, CHAPTER 40A, SECTION 7.

NOTE: ADJOINING BUILDING APPEARS TO ENCRUSH ON TO LOCUS.

NOTE: A.P. 67 BUILDING APPEARS TO BE CLOSE TO OR ON THE PROPERTY LINE AN EXACT LOCATION WOULD REQUIRE AN INSTRUMENT SURVEY

FLOOD DETERMINATION

BY SCALE, THE DWELLING SHOWN HERE DOES NOT FALL WITHIN A SPECIAL FLOOD HAZARD ZONE AS DELINEATED ON A MAP OF COMMUNITY #25005C0391F AS ZONE X DATED 7-7-2009 BY THE NATIONAL FLOOD INSURANCE PROGRAM.



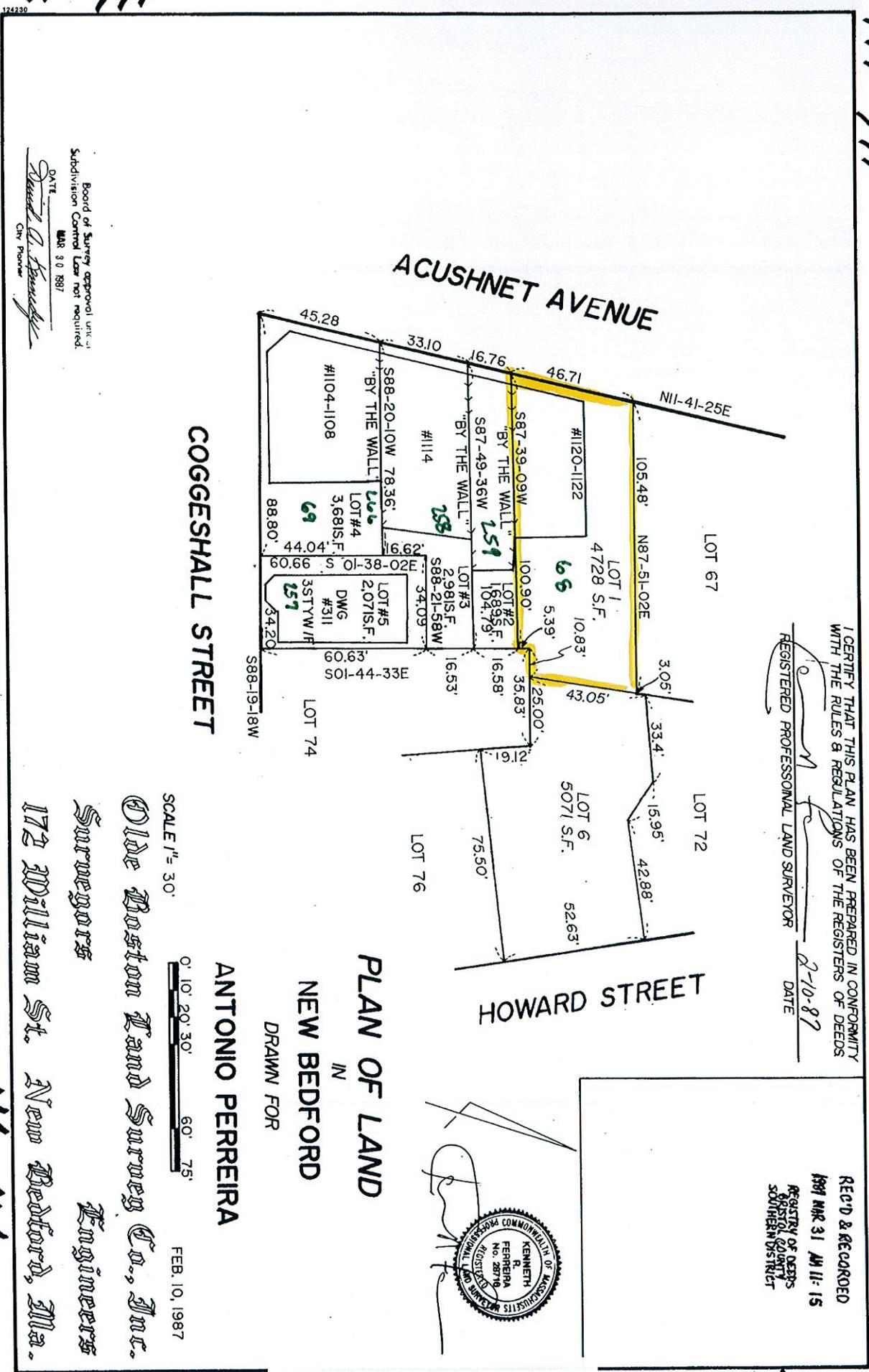
Olde Stone Plot Plan Service, LLC
P.O. Box 1166
Lakeville, MA 02347-
Tel: (800) 993-3302
Fax: (800) 993-3304



PLEASE NOTE: This inspection is not the result of an instrument survey. The structures as shown are approximate only. An instrument survey would be required for an accurate determination of building locations, encroachments, property line dimensions, fences and lot configuration and may reflect different information than shown here. The land as shown is based on client furnished information only or assessor's map & occupation and may be subject to further out-sales, takings, easements and rights of way. No responsibility is extended to the landowner or surveyor, or occupant. This is merely a mortgage inspection and is not to be recorded.

101-911

116-101



I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES & REGULATIONS OF THE REGISTRARS OF DEEDS REGISTERED PROFESSIONAL LAND SURVEYOR

[Signature]
 DATE 2-10-87

REC'D & RECORDED
 1987 MAR 31 AM 11:15
 REGISTRY OF DEEDS
 DISTRICT OF
 SOUTHERN DISTRICT



PLAN OF LAND
 IN
 NEW BEDFORD
 DRAWN FOR
 ANTONIO PERREIRA

SCALE 1" = 30'



FEB. 10, 1987

Old Boston Land Survey Co., Inc.
 Surveyors
 172 William St. New Bedford, Ma.
 Engineers

Board of Survey approval until
 Subdivision Control Law not required.
 DATE MAR 30 1987
[Signature]
 City Planner

116-101

E 4517

116-101

**Project Narrative
For
ES Acushnet Ave.
New Bedford, MA**

Property History:

This property had a structure a three story structure, a store on the lower level and 2 living units in the second and third floor until about 8 +/- years ago which was destroyed by a fire, with completely covered with bituminous asphalt lot. The outline of the original structure can still be defined by the difference between the new and original paving. Property was obtained by Mr. Kevin Welch in October 2011.

Property Information:

The existing property consists of a bituminous asphalt covered lot with an area of 0.109 acres or 4,547⁴⁷²⁸ sf. With a two foot (2'-0") bare soil strip used as an onsite drain; said lot is known as on Lot 68, Map 93. The lot is located on block north of Coggeshall Street the on the East Side of Acushnet Avenue between two (2) buildings and perpendicular to the end of Bentley⁵ Street. There are no overhead utilities on the property. This parcel is located in a MUB (Multi Use Business)^{MUB} zone with a "Right of Passage" with no dimension as described per the recorded deed, Bristol County Registry of Deeds Book 101172 Page 250.

Proposed Project:

The proposed project is to ^{STRIP?} strip the existing bituminous asphalted covered commercial parking lot not attached to any other property to define parking with a total of 8 parking space; even (7) 10'-0"x20'-0" and one reduce in length for a compact car while maintaining the "Right of Passage" as described per the recorded deed; there will be no structures erected on site. Such project should be completed within the next three months weather permitting. Snow storage will be allocated at the rear, or east side, of the lot.

Scheduled Improvements

Proposed site scheduled improvements are clean and remove protruding metal objects, clean the two foot (2'-0") bare soil strip used as an onsite drain and remove 12" of soil and replace with gravel to allow better onsite drainage and provide plantings as shown on plan.

PLANNING
FEB 12 2016
DEPARTMENT
CASE 07-16

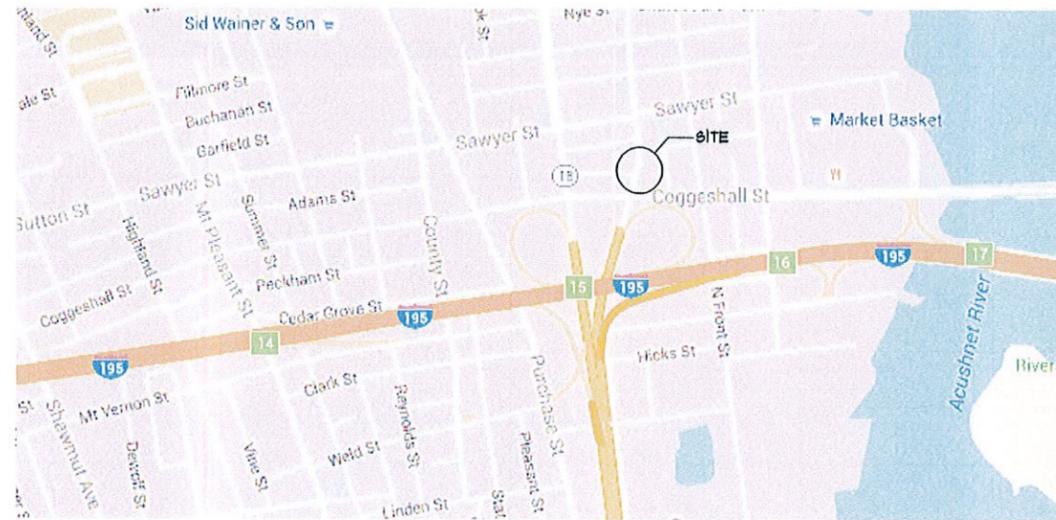
PROPOSED PARKING LOT For:

ES ACUSHNET AVE. Plot: 93, Lot: 68 New Bedford, MA

BOOK 10172 PAGE 250

ZONING MATRIX

	Existing	Allowed/Required	Proposed
Lot Area (sq ft)	4,728	10,000	4,728
Lot Width (ft)	46.71'	75	46.71'
Number of Dwelling Units	0	1	0
Total Gross Floor Area (sq ft)	0	0	0
Residential Gross Floor Area (sq ft)	0	0	0
Non-Residential Gross Floor Area (sq ft)	0	0	0
Building Height (ft)	0	45	0
Front Setback (ft)	0	20	0
Side Setback (ft)	0	8	0
Side Setback (ft)	0	12	0
Rear Setback (ft)	0	30	0
Lot Coverage by Buildings (% of Lot Area)	0	30	0
Permeable Open Space (% of Lot Area)	2	20	2
Green Space (% of Lot Area)	2	35	2
Off-Street Parking Spaces	8	0	8
Long-Term Bicycle Parking Spaces	0	0	0
Short-Term Bicycle Parking Spaces	0	0	0
Loading Bays	0	1	0



LOCUS PLAN
SCALE: N.T.S.

OWNERS INFORMATION:

KEVIN WELCH
1128 Acushnet Ave.
New Bedford, MA 02746

DRAWING LIST:

- C 1.0 Cover Sheet
- C 1.1 Existing Conditions Site Plan
- C 1.2 Proposed Site Plan
- LS 1.0 Planting Details and Notes

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CITY CLERKS OFFICE
NEW BEDFORD, MA

2016 FEB 12 P 1:01

CITY CLERK

All fees, design, arrangements, drawings and specifications shall be the responsibility of the owner. The engineer or architect shall be responsible for the accuracy of the information and measurements furnished to them and for the accuracy of the drawings. The engineer or architect shall be responsible for the accuracy of the information and measurements furnished to them and for the accuracy of the drawings.



Description PROPOSED Parking Lot	Approved as Noted	Date
	<input type="checkbox"/>	



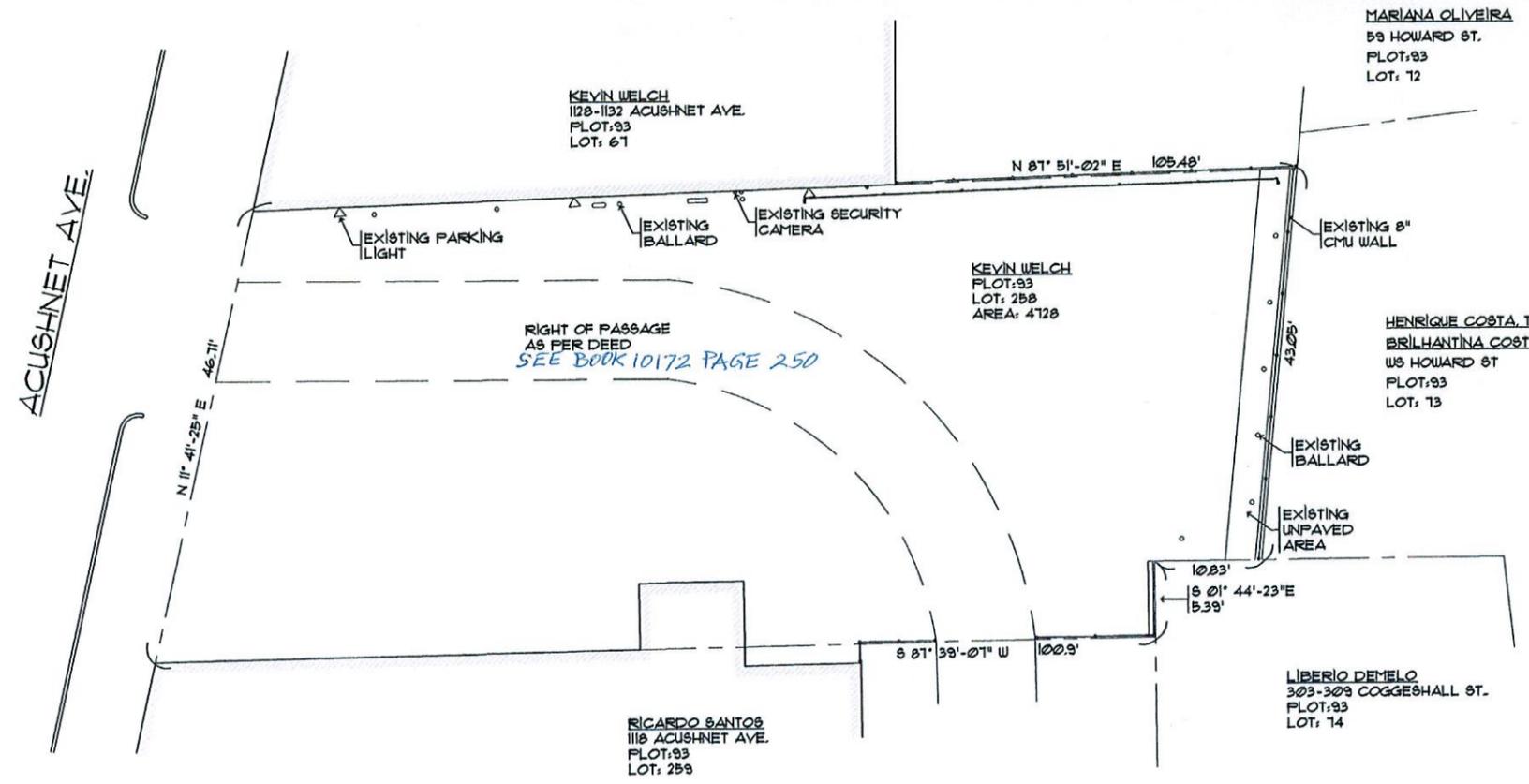
No.	Date	Revision

Drawing Title Cover Sheet	Drawing No. C0.1
Date 02/02/2015	Scale AS SHOWN
Drawn BMP	Checked BMP
Approved	Project No. 2015-09
Sheet	of

Project PROPOSED Parking Lot For: Kevin Welch At: ES Acushnet Ave. New Bedford, MA

PLANNING
FEB 12 2016
DEPARTMENT
07-16

CITY CLERKS OFFICE
 NEW BEDFORD, MA
 2016 FEB 12 P 1:01
 CITY CLERK



All designs, drawings, arrangements, drawings and specifications are owned by, and the responsibility for their use, and in no event shall the designer be held responsible for any errors or omissions in this drawing. The user of this drawing shall be deemed to have accepted the responsibility for its use. The user of this drawing shall be deemed to have accepted the responsibility for its use. The user of this drawing shall be deemed to have accepted the responsibility for its use.



Description	PROPOSED Parking Lot	Date
Approved	Approved as Noted	by



No.	Date	Revision

Drawing Title	Existing Conditions Site Plan
Scale	AS SHOWN
Drawn	amp
Checked	
Approved	
Sheet	of
Drawing No.	C1.1
Proj. No.	
Year	2015-19

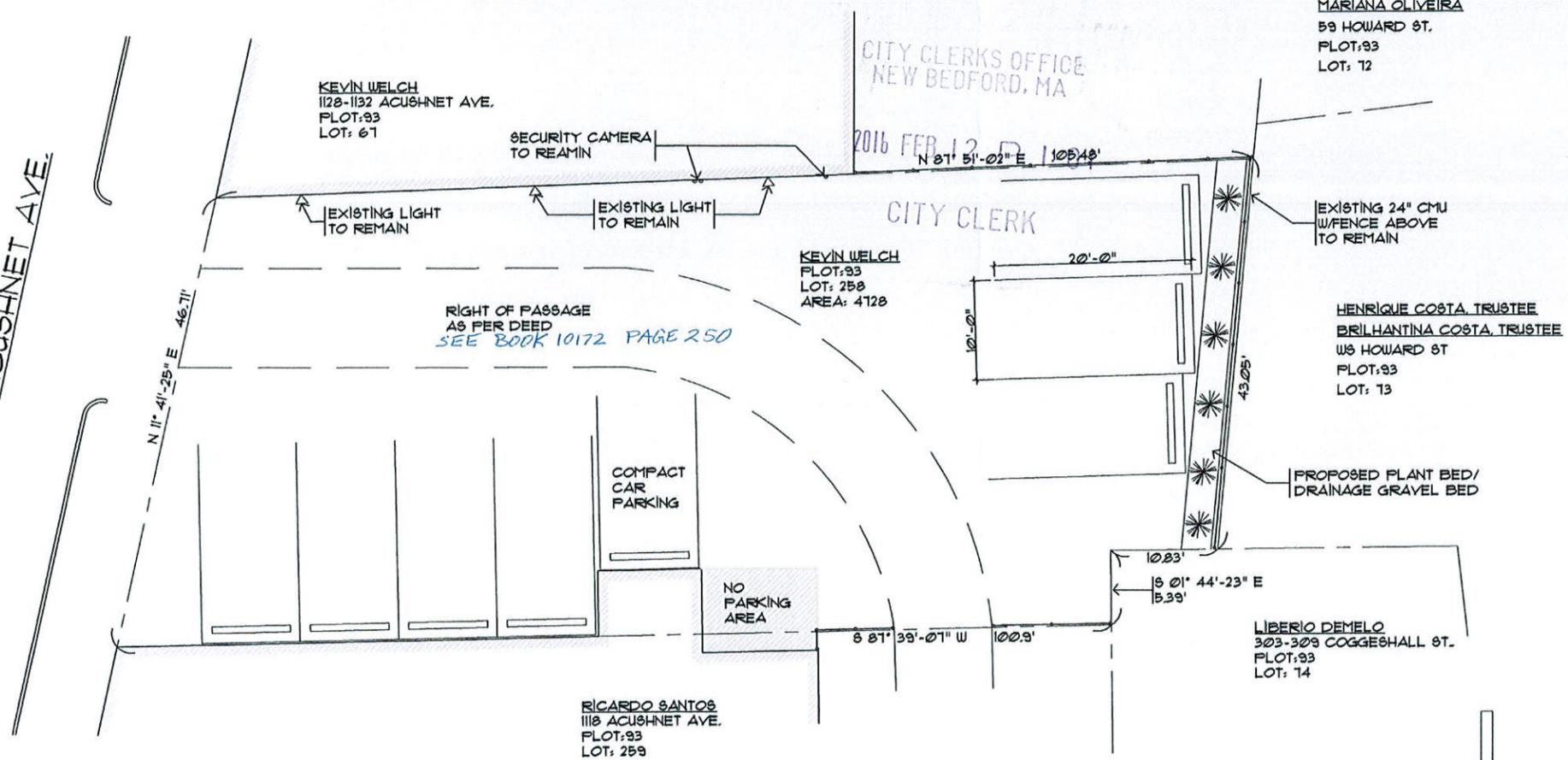
A
C1.1 EXISTING CONDITIONS SITE PLAN
 SCALE: 1" = 10'-0"

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Project
 PROPOSED Parking Lot
 For: Kevin Welch
 At: ES Acushnet Ave., New Bedford, MA

PLANNING
FEB 12 2016
DEPARTMENT

ACUSHNET AVE.



A
C12 PROPOSED SITE PLAN
SCALE: 1" = 10'-0"

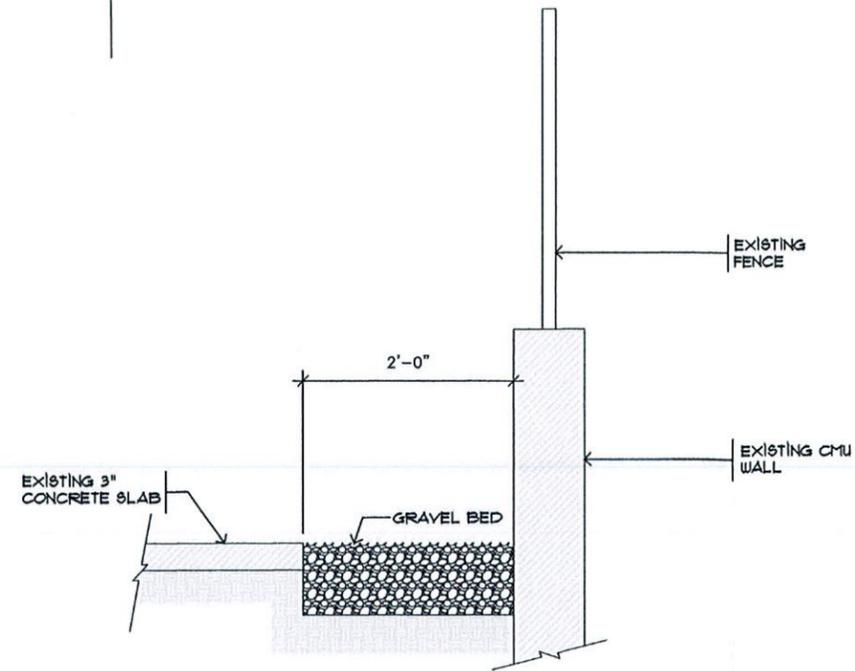
LANDSCAPE LEGEND

- * CONIFEROUS TREE
- o SHRUBS

PLANT LIST

SYM	QTY	POTANICAL / COMMON NAME	PLANT SIZE	SPACING
AD		Emerald Green Thuja or Equal	8'-12' ht.	See Plan

NOTE: If a discrepancy exists between the plan and plant list, the plan shall govern.
See page L5 10 for notes and details.



B
C12 PROPOSED SECTION AT WALL (DRAINAGE)
SCALE: 1" = 1'-0"



Notes: Plans, designs, arrangements, findings and specifications are owned by, and the property of, the client and shall remain the property of the client and shall not be used in connection with the specified project, nor for any other project, without the written consent of the client. This drawing is prepared for the use of the person, firm or corporation for any purpose other than that specifically stated on this drawing.



Description	PROPOSED Parking Lot	Date
	Approved as Noted	by

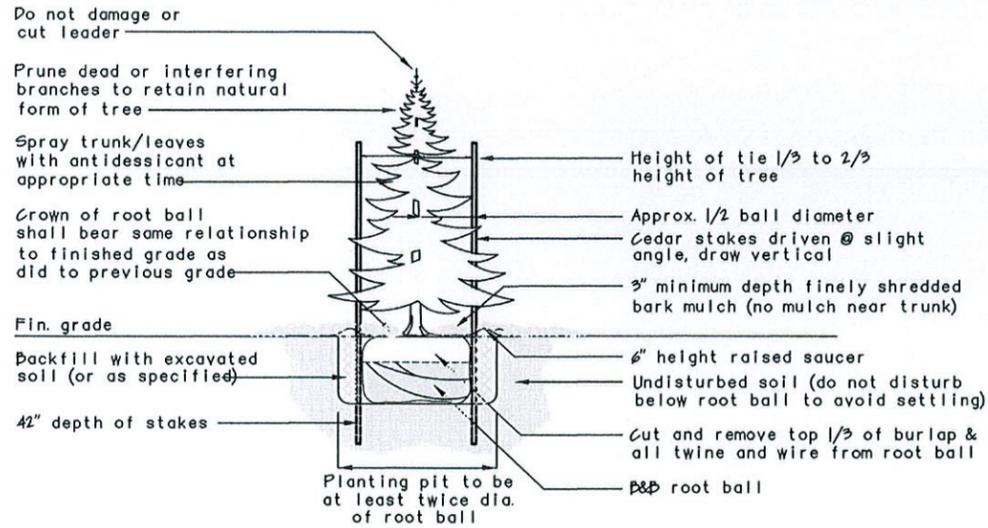


No.	Date	Revision

Drawing Title	Proposed Site Plan
Date	02.02.2016
Scale	AS SHOWN
Drawn	AMP
Checked	
Approved	
Sheet	
Drawing No.	C1.2
Proj. No.	2015-09

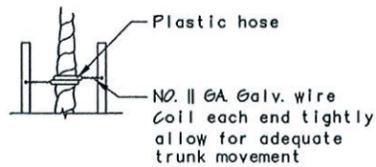
Project: PROPOSED Parking Lot
For: Kevin Welch
At: ES Acushnet Ave., New Bedford, MA

PLANNING
FEB 12 2016
DEPARTMENT
07-16

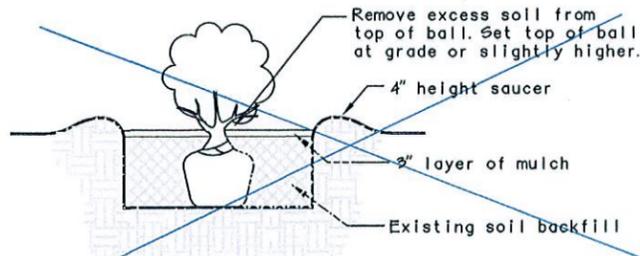


Evergreen Tree Planting

- NOTES:**
1. Do not damage main roots or root ball when installing tree stake.
 2. Water thoroughly after installation.
 3. Remove raised saucer and stakes two years or less after installation.
 4. Provide drainage for planting pit if in impermeable soil.



ENLARGED DETAIL



Shrub Planting

1 **PLANTING DETAIL**
SCALE: 1/2" = 1'-0"

LANDSCAPING & PLANTING NOTES

1. The Contractor shall locate and verify the existence of all public and private utilities, both above and below grade prior to starting work.
2. The Contractor shall supply all plant materials in quantities sufficient to complete the planting, sodding and seeding shown on the drawings
3. All plant material shall conform to the guidelines established by the current American Standard for Nursery Stock, published by the Amer. Assoc. of Nurserymen.
4. No plant shall be installed into the ground before rough grading has been completed and approved by the Designer/Architect.
5. All plants shall bear the same relationship to finished grade as the plant's original grade before digging.
6. All plants shall be subject to inspection by the Landscape Architect upon arrival at the site. Any plants exhibiting unhealed wounds, scrapes, cuts or bruises to the trunk or bark, and any major broken branches shall be rejected and replaced.
7. All plants shall be balled and wrapped or container grown as specified. No container grown stock will be accepted if it is root bound. All root wrapping material made of synthetics, metal or plastics shall be completely removed at planting time.
8. With container grown stock, the container shall be completely removed and the container ball shall be cut through the surface in two vertical locations.
9. Prior to planting, the locations of all trees and shrubs shall be staked or demarked for approval by the Landscape Designer/Architect, if requested by the Owner.
10. The Landscape Designer/Architect reserves the right to select any or all plant material at the nursery prior to delivery.
11. All trees and shrubs shall be sprayed with antidesiccant within 24 hours after planting.
12. See specifications for further information on planting and sodding.
13. All plants and stakes, if used, shall be set plumb unless otherwise specified.
14. All plants shall be watered thoroughly twice during the first 24 hour period after planting. All plants shall then be watered weekly as required.
15. Three-inches (3") of finely shredded bark mulch shall be spread 5 to 7 feet around trees and 3 feet around shrubs. Bare soil shall be left at the base of the plant to avoid trunk suffocation or rot.
16. Planting holes shall be backfilled with the same soil that was removed. No soil amendments are required unless otherwise noted.
17. No trunk wrapping shall be used unless otherwise specified.
18. Staking of trees less than 12 feet in height is not required unless otherwise noted.
19. Pruning of plant material after planting is limited to dead and damaged branches, or those that threaten the appearance and branching structure.

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NEW BEDFORD, MA
2016 FEB 12 P
CITY CLERK

The user, designer, engineer, drafter, architect, contractor, or other professional responsible for this drawing shall be responsible for the accuracy of all dimensions, quantities, and materials shown on this drawing. The user, designer, engineer, drafter, architect, contractor, or other professional shall be responsible for the accuracy of all dimensions, quantities, and materials shown on this drawing. The user, designer, engineer, drafter, architect, contractor, or other professional shall be responsible for the accuracy of all dimensions, quantities, and materials shown on this drawing.



PROPOSED
Parking Lot

Approved as Noted



COMPREHENSIVE DESIGN/BUILD SERVICES
P.O. BOX 378 WEST WARDHAM, MA 02576-0378
T: 508.291.1081 F: 508.355.0727
email: armand@cdbsdesign.com

No.	Date	Revision

Planting Details and Notes

LS1.0

Date: 02.02.2016
Scale: AS SHOWN
Drawn: EMP
Checked: EMP
Approved: EMP

Project: PROPOSED Parking Lot
For: Kevin Welch
At: ES Acushnet Ave., New Bedford, MA

PLANNING
FEB 12 2016
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Copyright © 2015 by Comprehensive Design/Build Services. ALL RIGHTS RESERVED. The plans, drawings, designs, specifications and other arrangements on this sheet are and shall remain the property of Comprehensive Design/Build Services. No part thereof shall be copied, disclosed to others, or used in connection with any work or project, other than the specified project for which they have been prepared and developed, without the express knowledge and written consent of Comprehensive Design/Build Services. Comprehensive Design/Build Services shall not be responsible for construction means, methods, techniques, or procedures utilized by the contractors, nor for the safety of public or contractor's employees; or for the failure of the contractor to carry out the work in accordance with the contract documents. Comprehensive Design/Build Services liability for this plan is limited to the extent of its fee less third party costs.

07-16



City of New Bedford
REQUEST FOR WAIVER

CASE #: 07-16

APPLICATION FOR WAIVER FROM SITE PLAN REVIEW REQUIREMENTS

In certain instances, after consulting with the City Planner, the applicant may submit, in writing, a request for waiver for any of the submittal or technical requirements of Section 5430 and 5440 where the project involves relatively simple development plans. The Planning Board will take a separate vote on written waiver requests by the applicant. Each request for waiver must be submitted individually to be considered by the Board. Please provide one (1) original and fifteen (15) copies of the request.

Any granted waivers must be disclosed on the final submitted and approved site plan.

SUBJECT PROPERTY			
ASSESSOR'S MAP PLOT#	93	LOT(S)#	68
REGISTRY OF DEEDS BOOK:	10172	PAGE #	250
PROPERTY ADDRESS: ES Acushnet Ave.			
ZONING DISTRICT: MUB			
OWNER INFORMATION			
NAME: Kevin Welch			
MAILING ADDRESS: 1128 Acushnet Ave. New Bedford, MA 02746			
APPLICANT/CONTACT PERSON INFORMATION			
NAME (IF DIFFERENT):			
APPLICANT'S RELATIONSHIP TO THE PROPERTY: Check one:	OWNER <input checked="" type="checkbox"/>	CONTRACT VENDEE <input type="checkbox"/>	OTHER Describe <input type="checkbox"/> _____
MAILING ADDRESS (IF DIFFERENT):			
TELEPHONE #	508-999-7368		
EMAIL ADDRESS:	kevinwelch@aol.com		

By signing below, I/we acknowledge that all information presented herein is true to the best of my/our knowledge. I/we further understand that any false information intentionally provided or omitted is grounds for the revocation of the approval(s). If petition is granted, I/we understand the approvals are specific to the plans submitted, unless the Board states otherwise and that if granted, that the waiver(s) must be noted on the approved Site Plan and acted upon within one year.

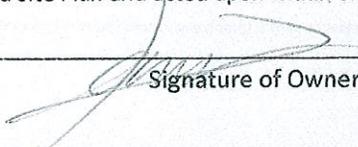
Signature of Applicant/s

Feb - 12 - 2016
Date

PLANNING
FEB 12 2016
DEPARTMENT
CASE 07-16

If the applicant differs from the owner, this section must be completed/signed by the property owner/s:

I hereby authorize the applicant represented above and throughout this application to apply and to represent my/our interests on my/our behalf for the relief requested herein for the premises I/we own noted as "property address" above and presented throughout this application. Furthermore, by signing this application i/we acknowledge having read and understood this application and the accompanying instructions and information. If petition is granted, I/we understand the approvals are specific to the plans submitted, unless the Board states otherwise and that if granted, that the waiver(s) must be noted on the approved Site Plan and acted upon within one year.



 Signature of Owner/s

Feb-12-16

 Date

DESCRIPTION	Ordinance Section	CLEARLY Describe why this request is being made.
		Example
1	5451. b. Topography and Drainage Plan	There currently exists a structure and pavement on the site. No excavation of the site is being proposed, therefore topography and drainage will not be altered.
2 1	5451.b Topography and Drainage	There is no proposed development of the site that involves and demolition, excavation, or utility work of any sort that is going to interfere with neighborhood or surrounding areas or sites. Per communication with DPI, they are not requesting either the Topography or Drainage Plan.
3 2	5451.c Utility Plan	There is no proposed development of the site that involves and demolition, excavation, or utility work of any sort.
4 3	5451.d Architectural Plans	There are on buildings being erected on this site.

Additional pages describing the waiver request may be attached to this form following the same chart format, if necessary.

Please check here if additional pages are attached.

5

Number of Waiver requests submitted for consideration:

Please see attached sheet for additional waiver requests.

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**Request for Waivers Continued
For
ES Acushnet Ave.
New Bedford, MA**

4 5451.f Lighting

Existing lighting is shown on plan; existing wall mounted LED Light fixture. No new lighting to be added.

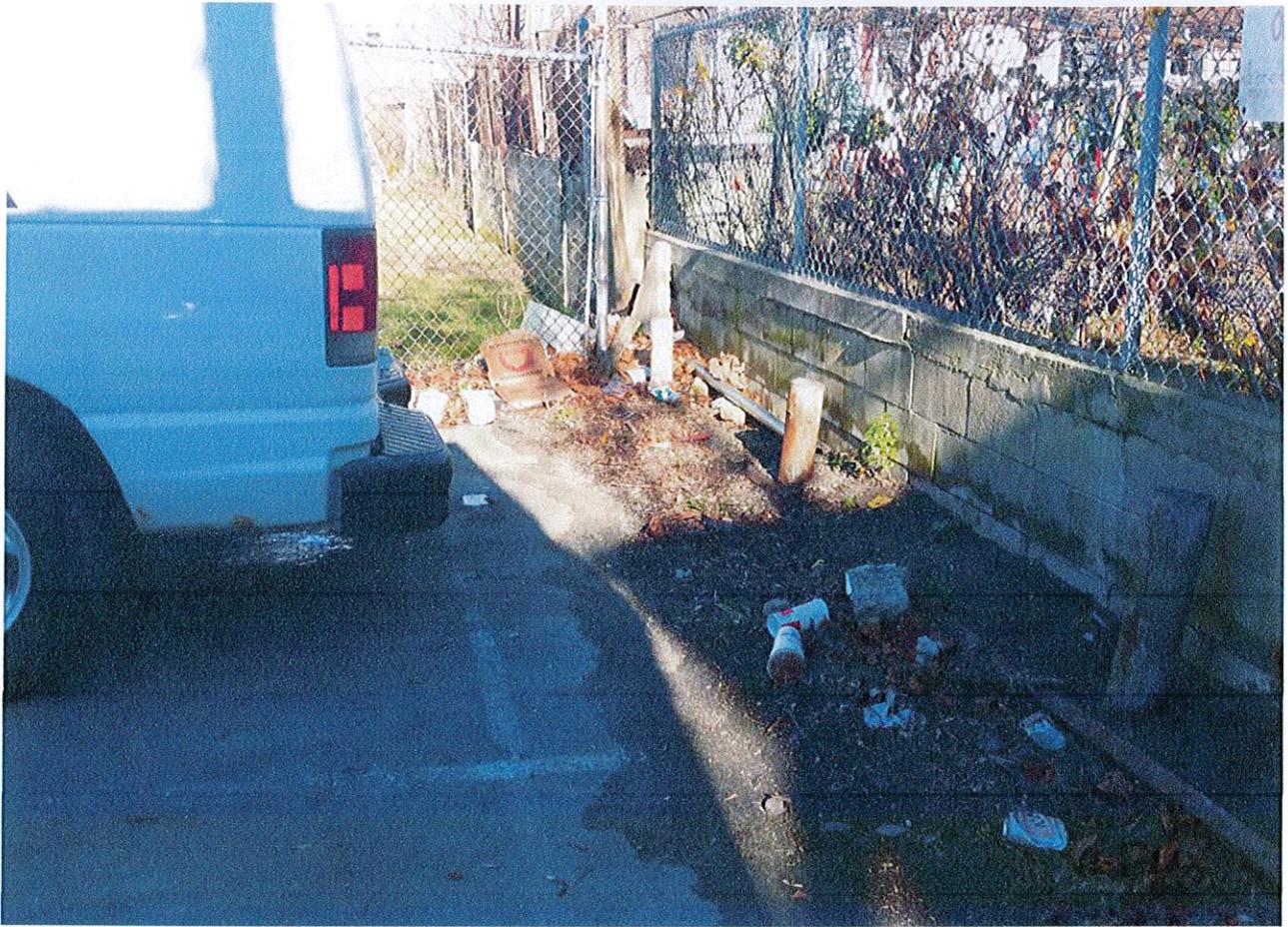
5 5454 Drainage Calculation

Requesting a waiver for Drainage Calculation because there is no proposed development, demolition, excavation, or utility work of any sort that would interfere with the neighborhood or surrounding area outside the site. Per communication with DPI, they are not requesting either the Topography, Drainage Plan, or Drainage calculation.



ATTACHMENT 5

PLANNING
FEB 12
DEPARTMENT
CR# 07.16



PLANNING
FEB 12 2015
DEPARTMENT

CASE 07.16



PLANNING
FEB 12 2015
DEPARTMENT
CASB 07.16



CITY OF NEW BEDFORD
JONATHAN F. MITCHELL, MAYOR

PLANNING BOARD

2016 FEB 12 12:55
CITY RECORDS OFFICE
NEW BEDFORD MA
SUBMIT TO:
Planning Department
133 William Street
Room 303
New Bedford, MA 0274

SITE PLAN REVIEW APPLICATION

The undersigned, being the Applicant, seeks Site Plan Approval for property depicted on a plan entitled: Proposed Parking Lot by: CDBS dated: 01/09/16

1. Application Information

Street Address: ES Acushnet Ave

Assessor's Map(s): 93 Lot(s) 68

Registry of Deeds Book: _____ Page: _____

Zoning District: Business MUB

Applicant's Name (printed): Kevin Welch

Mailing Address: 1128 Acushnet Ave Newbedford MA 02746
(Street) (City) (State) (Zip)

Contact Information: _____

Applicant's Relationship to Property: Telephone Number _____ Email Address _____
 Owner Contract Vendee Other _____

List all submitted materials (include document titles & volume numbers where applicable) below:

Site Plan Application (4 Pages), Building Permit Rejection (6 Pages), Code of Ordinances By Building Dept (9 Pages), Certified Abutters List (4 Pages), City Neighborhood Plan (1 Page), City Lot Plan (1 Page), Assessors Parcel Sheet (1 Page), Oliver Area Plan (1 Page), Photos (2 Pages), Project Narrative (1 Page), Plans; Cover Sheet, Existing Conditions Site Plan, Proposed Site Plan, Planting Details and Notes (4 Pages), Request for Waiver (1 Page)

By signing below, I/we acknowledge that all information presented herein is true to the best of my/our knowledge. I/we further understand that any false information intentionally provided or omitted is grounds for the revocation of the approval (s). I/we also give Planning Department staff and Planning Board Members the right to access the premises (both interior and exterior) at reasonable times and upon reasonable notice for the purpose of taking photographs and conducting other visual inspections.

2-9-2016
Date

[Signature]
Signature of Applicant

City Hall • 133 William Street • Room 303 • New Bedford, MA 02740 • www.newbedford-ma.gov
PH: (508)979-1488 • FX: (508)979-1576

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2. Review Applicability (Check All That Apply to Your Proposal)

Category

- Residential
- Commercial
- Industrial
- Mixed (Check all categories that apply)

Construction

- New Construction
- Expansion of Existing
- Conversion
- Rehabilitation
- N/A

Scale

- < 2,000 gross sq feet
- > 2,000 gross sq feet
- 3 or more new residential units
- 1 or more new units in existing res. multi-unit
- Drive Thru Proposed
- Ground Sign Proposed
- Residential Driveway With > 1 curbcut

3. Zoning Classifications

Note: Parking Lot only at 4,728 sf

Present Use of Premises: Parking Lot

Proposed Use of Premises: Parking Lot

Zoning Relief Previously Granted (Variances, Special Permits, with Dates Granted):
N/A

4. Briefly Describe the Proposed Project:

Stripping of Existing Asphalt Cover Lot to Provide a Parking Lot

5. Please complete the following:

* See note Below

	Existing	Allowed/Required	Proposed
Lot Area (sq ft)	4,728	10,000	4,728
Lot Width (ft)	46.71'	75	46.71'
Number of Dwelling Units	0	1	0
Total Gross Floor Area (sq ft)	0	0	0
Residential Gross Floor Area (sq ft)	0	0	0
Non-Residential Gross Floor Area (sq ft)	0	0	0
Building Height (ft)	0	45	0
Front Setback (ft)	0	20	0
Side Setback (ft)	0	8	0
Side Setback (ft)	0	12	0

* Note: Allowed/Required figures are those permitted within the MUB zoning district but are germane to **BUILDING DEPT.**
This proposal is for a parking lot.
ONLY FOR A PARKING LOT.

Rear Setback (ft)	0	30	0
Lot Coverage by Buildings (% of Lot Area)	0	30	0
Permeable Open Space (% of Lot Area)	2	20	2
Green Space (% of Lot Area)	2	35	2
Off-Street Parking Spaces	8	0	8
Long-Term Bicycle Parking Spaces	0	0	0
Short-Term Bicycle Parking Spaces	0	0	0
Loading Bays	0	1	0

6. Please complete the following:

	Existing	Proposed
a) Number of customers per day:	<u>0</u>	<u>0</u>
b) Number of employees:	<u>0</u>	<u>0</u>
c) Hours of operation:	<u>N/A</u>	<u>N/A</u>
d) Days of operation:	<u>N/A</u>	<u>N/A</u>
e) Hours of deliveries:	<u>N/A</u>	<u>N/A</u>
f) Frequency of deliveries: <input type="checkbox"/> Daily <input type="checkbox"/> Weekly <input type="checkbox"/> Monthly <input checked="" type="checkbox"/> Other: <u>N/A</u>		

7. Planning Board Special Permits:

The applicant is also requesting a Special Permit from the Planning Board.
Specify the requested Special Permit(s) below, and set forth within attached Development Impact Statement how the request meets approval criteria listed in §5320 of the zoning code.
N/A

8. ZBA Variances and Special Permits:

NOTICE: Checking below does not constitute application for a special permit or a variance. The applicant must also file the proper application form and fee with the Zoning Board of Appeals.

The applicant is also requesting a special permit from the ZBA: N/A
Specify zoning code section & title

The applicant is also requesting a variance from the ZBA: N/A
Specify zoning code section & title

9. OWNERSHIP VERIFICATION

This section is to be completed & signed by the property owner:

I hereby authorize the following Applicant: Kevin Welch

at the following address: 1128 Acushnet Ave.

to apply for: Parking Lot

on premises located at: ES Acushnet Ave.

in current ownership since: 10/13/2011

whose address is: 1128 Acushnet Ave.

for which the record title stands in the name of: Kevin Welch

whose address is: 1128 Acushnet Ave.

by a deed duly recorded in the:
Registry of Deeds of County: Bristol Book: 10172 Page: 250

OR Registry District of the Land Court, Certificate No.: _____ Book: _____ Page: _____

I/we acknowledge that all information presented herein is true to the best of my/our knowledge. I/we further understand that any false information intentionally provided or omitted is grounds for the revocation of the approval(s). I/we also give Planning Department staff and Planning Board Members the right to access the premises (both interior and exterior) at reasonable times and upon reasonable notice for the purpose of taking photographs and conducting other visual inspections.

2-9-2016 _____
Date Signature of Land Owner (If authorized Trustee, Officer or Agent, so identify)

CITY CLERKS OFFICE
NEW BEDFORD, MA
2016 FEB 12 P 12:55
CITY CLERK