



City of New Bedford

Department of Planning, Housing & Community Development

608 Pleasant St, New Bedford, Massachusetts 02740
Telephone: (508) 979.1500 Facsimile: (508) 979.1575

PATRICK J. SULLIVAN
DIRECTOR

STAFF COMMENTS

PLANNING BOARD MEETING

May 11, 2016

ADDENDUM TO PREVIOUS STAFF COMMENTS PROVIDED SEPTEMBER 9, 2015

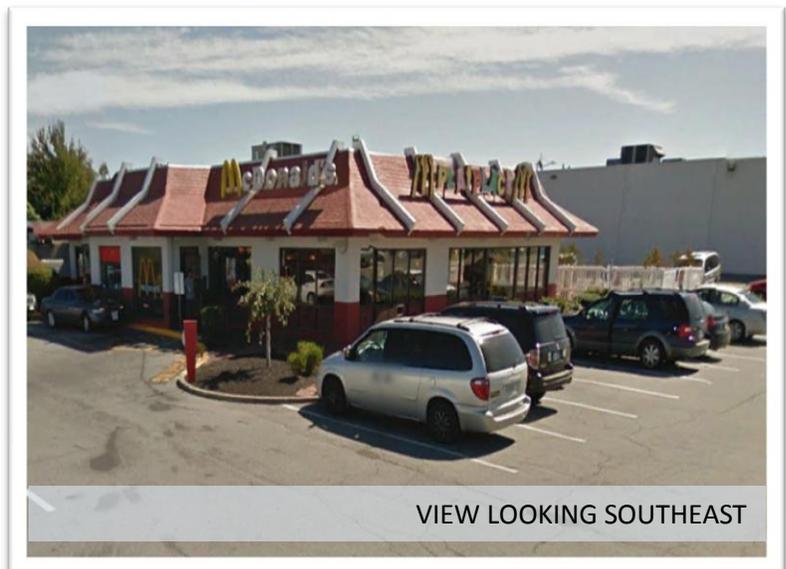
**Case # 13-16: SPECIAL PERMIT
MODIFICATION**
1080 Kings Highway
Map: 125, Lot: 29

Case #14-16: SITE PLAN MODIFICATION
1080 Kings Highway
Map: 125, Lot: 29

Applicant: McDonald's USA, LLC
Northeast Region
690 Canton Street
Westwood, MA 02090

**Applicant's
Agent:** Eric Dubrule
Bohler Engineering
352 Turnpike Road
Southborough, MA 01772

Owner: Cedar-Kings
44 South Bayles Avenue
Port Washington, NY 11050



Overview of Request

These comments are an amendment to the report provided on September 9, 2015 for the Planning Board's review and consideration, for a request to consider modifications to the granted Special Permit for reduction of parking spaces and to the Site Plan approval granted for Case #19-15. The plan has been modified to include the construction of a 750+/- SF indoor play space thereby reducing the number of off-street parking spaces.

The Board may recall that the applicant proposes to demolish the existing 5145 +/- SF fast-food restaurant with drive-thru and construct a new 5,202 SF +/- fast-food drive-thru restaurant. The redevelopment project is located

in the Planned Business and Industrial A zoning districts on a 0.95 acre site at King's Plaza Shopping Center on land leased by McDonald's USA, LLC.

Proposed Conditions

Under the proposed modification, the applicant requests the modifications necessary to allow for the construction of an indoor play space within the restaurant structure. The most significant change resulting from such a modification would be the reduction of parking as follows:

- Overall parking provided for the specific fast food use would be reduced from 40 parking spaces previously approved by the Board in September 2015, to a 35 parking spaces.
- ADA compliant parking spaces would be shifted east along the south side of the parcel.

In addition to the addition of the play space and resulting loss of 5 parking spaces, the applicant now proposes a pedestrian walkway added at the west side of the structure, guiding patrons of McDonalds from the underutilized, proximal shopping center parking area into the fast-food restaurant.

The applicant states the modified plan will, as with the approved plan, still result in a substantial decrease in impervious surface over existing conditions and will not change the limit of disturbance of the previously approved drainage improvements. As such, the approved drainage analysis and report are unmodified, as the negligible alterations do not change the intent and outcome of the approved drainage analysis. Proposed lot coverage of the building increases from 10.7% to 12.5%; proposed permeable open space decreases from 22.3% to 21.8%; and proposed green space decreases from 22.3% to 21.8% with addition of the proposed play space.

NOTE: As a condition for approval, the applicant was asked to provide a landscape plan to planning staff and work together with staff in creating an acceptable landscape design. At staff's urging the applicant has provided its landscape plan (Plan Sheet C-10) with the case submittal documents, should the board want to consider the landscape plan at the hearing for review and determination as to suitability.

Special Permit/Site Plan Review Modification

As presented staff finds that the proposed modifications do not contravene either decision previously rendered by the Board but in fact, continue to remain consistent with the thresholds and criteria established by the city's zoning ordinance for both forms of relief.

Staff Recommendation

The proposed modification to the existing site plan review and special permit plans approved by the board in September 2015 necessitates a slight diminishment of parking associated with this restaurant. The applicant's reduction of 5 additional spaces can easily be accommodated within the remainder of the large parking lot of which it is essentially a part. In addition, the proposed modification has a negligible effect on the site's overall drainage analysis and the slight decline in the proposed permeable open space similarly may be characterized as a minor impact of the modification. In light of these findings, staff recommends approval of the modification to both the Special Permit and Site Plan Review approvals previously granted.

Attachments:

1. Notice of Decision for Case 19-15
2. Minutes of Meeting Dated September 9, 2015
3. Letter from Applicant Requesting Modification to Special Permit and Site Plan Approval
4. Development Impact Statement
5. Modification for Special Permit Application
6. Modification for Site Plan Approval Application

7. Letter of Authorization
8. Staff Report Dated September 9, 2015
9. Comments from Ronald Labelle, Commissioner of Department of Public Infrastructure, Dated 09/02/2015
10. Deed – Bristol County (S.D) Registry of Deeds Book 8820, Page 194
11. Photos
12. Lighting Tear Sheet
13. Modification to Site Plan (Sheet 1)
14. Elevation Drawings Dated 02/25/2016
15. Seating Plan Dated 02/25/2016
16. Fire Truck Circulation Revised thru 01/12/2016
17. Plan Set Revised thru 01/21/2016



PLANNING BOARD

CITY OF NEW BEDFORD
JONATHAN F. MITCHELL, MAYOR

CITY CLERK
 2015 SEP 21 P 2:25
 CITY CLERKS OFFICE
 NEW BEDFORD, MA

NOTICE OF DECISION

Case Number: 19-15				
Request Type: Site Plan and Special Permit Approval				
Address: 1080 Kings Highway				
Zoning: Planned Business and Industrial-A				
Recorded Owner: Cedar-Kings, LLC, 44 South Bayles Avenue, Port Washington, NY 11050				
Applicant: McDonald's USA, LLC, Northeast Region				
Applicant Address: 690 Canton Street, Westwood, MA 02090				
Application Submittal Date	Public Hearing Date	Decision Date		
August 14, 2015	September 9, 2015	September 9, 2015		
Assessor's Plot Number	Lot Number(s)	Book Number	Page Number	Certificate Number
125	29	8820	194	

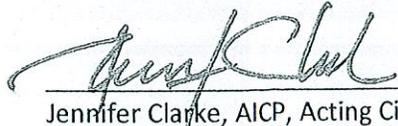
Application: Request for Site Plan Review for new construction of a 4600+/- SF fast-food restaurant, and Special Permit for reduction of parking spaces

Action: GRANTED, WITH CONDITIONS:

1. Applicant agrees to donate ten street trees to the City of New Bedford to be planted at the City's discretion.
2. Applicant agrees to provide a Landscape Plan to planning staff and work together with staff in creating an acceptable landscape design.
3. The applicant will agree with the recommendations of DPI and take into account all of DPI's suggested recommendations.
4. The hours of operation are to be 5:00 a.m. to 12 midnight.
5. The illuminated signs shall be turned off no later than one hour after closing.
6. The applicant agrees, if possible, to pull in the flared drain ends away from the City of New Bedford's easement for an existing 36 inch sewer drain.
7. The applicant agrees to any additional erosion control measures stipulated by the City of New Bedford Conservation Commission.
8. Application and plans are to be corrected for inconsistencies, including the correction of the Title Box which reads New Bedford as [incorrectly] being located in Providence County.

A copy of this decision was filed with the City Clerk of the City of New Bedford on September 21th, 2015. Any person aggrieved by this decision for Site Plan Approval has twenty (20) days to appeal the decision in accordance with the procedures set forth in Section 8 of Chapter 40A of the General Laws of Massachusetts and Section 5490B of the City of New Bedford Site Plan Review Ordinance. Any person aggrieved by this decision for Special Permit has twenty (20) days to appeal the decision in accordance with the procedures set forth in Section 17 of Chapter 40A of the General Laws of Massachusetts.

9.21.15
Date


Jennifer Clarke, AICP, Acting City Planner
Agent for the Planning Board

1) APPLICATION SUMMARY

Request by applicant, McDonald's USA, LLC (Cedar-Kings, 44 South Bayles Avenue, Port Washington, NY 11050), for Site Plan Review for new construction of a 4600+/- SF fast-food restaurant, and Special Permit for reduction of parking spaces, located at 1080 Kings Highway (Map 125, Lot 29), in the Planned Business and Industrial - A zoning districts.

2) MATERIALS REVIEWED BY THE PLANNING BOARD

Plans Considered to be Part of the Application

The submittal was shown on a Plan Set for McDonald's, Northeast Region, 690 Canton Street, Westwood, MA, dated 08/12/2015, located at 1080 Kings Highway (Map 125, Lot 29), prepared by Bohler Engineering, 352 Turnpike Road, Southborough, MA 01772 consisting of:

1. Cover Sheet
2. General Notes
3. Demolition Plan
4. Overall Site Plan
5. Site Plan
6. Grading & Drainage Plan
7. Utility Plan
8. Soil Erosion & Sediment Control Plan
9. Soil Erosion Control Notes & Details
10. Landscape Plan
11. Landscape Notes & Details
12. Lighting Plan
13. Detail Sheet C-13
14. Detail Sheet C-14
15. Detail Sheet C-15
16. ALTA/ACSM Land Title Survey Sheet 1
17. ALTA / ACSM Land Title Survey Sheet 2
18. A2.0 Elevations
19. A2.1 Elevations
20. A-1 Floor Plan
21. Aerial Sheet 1 (Submitted into the record on 9/9/2015)
22. Aerial Overlay (Submitted into the record on 9/9/2015)
23. Land Use/Zoning Information & Notes (Submitted into the record on 9/9/2015)

Other Documents and Supporting Material

- Certified Abutters List
- Photographs
- Memo from Department of Public Infrastructure Revised (1) September 8, 2015
- Staff Comments with Attachments:
 - Site Plan Review Application
 - Special Permit Application
 - Development Impact Statement
 - Plan Set
 - Deed
 - Letter of Authorization
 - Site Photos
 - Fire Truck Circulation Plan
 - Drainage Report
 - Memo from Department of Public Infrastructure Dated September 2, 2015
 - Lighting Tear Sheet

3) DISCUSSION

Eric Dubrule of Bohler Engineering, Adam Gourmette, Area Construction Manager, and Lynn Simonello, Director of Operations for McDonald's, described the demolition of the existing fast food restaurant and reconstruction project with improvements to landscaping, drainage and storm water treatment with recharge going through a swale, lighting, and parking reduction from 50 spaces to 40 spaces to Board members.

Illustrative plans were presented for consideration, with motion for acceptance by Board Member P. Cruz and second by Board Member A. Glassman.

The applicant will appear before the Zoning Board of Appeals to petition for Variance for side and rear yard setbacks of the trash enclosure in deference to the adjacent wetlands and Special Permit Application for a Fast Food Restaurant with Drive-thru.

Discussion ensued between applicant and Board members for further clarification of the case submittal. Chair Dawicki requested a motion from the Board to open the public hearing. No one spoke in favor, or against, the project submittal.

With no other comments received, motion was made by Board Member K. Duff, with second by Board Member A. Glassman to close the hearing. Motion carried Five (5) to Zero (0).

4) THE FOLLOWING CONDITIONS AND RESTRICTIONS SHALL APPLY

- Applicant agrees to donate ten street trees to the City of New Bedford to be planted at the City's discretion.
- Applicant agrees to provide a Landscape Plan to planning staff and work together with staff in creating an acceptable landscape design.
- The applicant will agree with the recommendations of DPI and take into account all of DPI's suggested recommendations.
- The hours of operation are to be 5:00 a.m. to 12 midnight.

- The illuminated signs shall be turned off no later than one hour after closing.
- The applicant agrees, if possible, to pull in the flared drain ends away from the City of New Bedford easement for an existing 36 inch sewer drain.
- The applicant agrees to any additional erosion control measures stipulated by the City of New Bedford Conservation Commission.
- Application and plans are to be corrected for inconsistencies, which includes the correction of the Title Box which [incorrectly] reads New Bedford as being located in Providence County.

5) DECISION

Chair Dawicki asked for the motion to grant the Special Permit. Board Member Duff made the motion to approve the Special Permit Application for **Case #19-15** for a reduction in parking from 56 spaces to 40 spaces, seconded by Board Member Glassman.

A roll call vote was taken and unanimously approved Five (5) to Zero (0).

Board Member Kalife – Yes Board Member Glassman – Yes Board Member Cruz – Yes
 Board Member Duff – Yes Chair Person Dawicki - Yes

Chair Dawicki asked for the motion to grant Site Plan approval for **Case #19-15**, with conditions, for new construction of a 4600+/- SF fast-food restaurant, located at 1080 Kings Highway (Map 125, Lot 29), in the Planned Business and Industrial - A zoning districts.

Board Member Duff made the motion to approve the Site Plan Application for **Case #19-15**, with the listed conditions, seconded by Board Member Glassman. Motion carried unanimously Five (5) to Zero (0).

Filed with the City Clerk on:

9.21.15

Date



 Jennifer Clarke, AICP, Acting City Planner, Agent for the Planning Board

Motion carried unanimously Five (5) to Zero (0).

7. Case #19-15: McDonald's USA

Request by applicant, McDonald's USA, LLC (Cedar-Kings, 44 South Bayles Avenue, Port Washington, NY 11050), for Site Plan Review for new construction of a 4600+/- SF fast-food restaurant, and a Special Permit for the reduction of parking spaces, located at 1080 Kings Highway (Map 125, Lot 29), in the Planned Business and Industrial - A zoning districts. Applicant's agent: Bohler Engineering, 352 Turnpike Road, Southborough, MA 01772.

Eric Dubrule of Bohler Engineering, Adam Gourmante, Area Construction Manager, and Lynn Simonello, Director of Operations for McDonald's described the proposed demolition of the existing fast food restaurant and subsequent reconstruction project that would include improvements to landscaping, drainage and storm water treatment with recharge going through a swale, lighting, and a parking reduction from 50 spaces to 40 spaces to Board members.

Illustrative plans were presented for consideration, with a motion for acceptance made by Board Member P. Cruz and seconded by Board Member A. Glassman.

It was noted that the applicant is expected to appear before the Zoning Board of Appeals to petition for a Variance for side and rear yard setbacks of the trash enclosure in deference to the adjacent wetlands and a Special Permit Application for a Fast Food Restaurant with Drive-thru.

Discussion ensued between applicant and Board members for further clarification of the case submittal. Chair Dawicki requested a motion from the Board to open the public hearing. No one spoke in favor, nor against, the project submittal.

With no other comments received, motion was made by Board Member K. Duff, with second by Board Member A. Glassman to close the hearing. Motion carried Five (5) to Zero (0).

Board Member Duff made the motion to approve the Special Permit Application for **Case #19-15** for a reduction in parking from 56 spaces to 40 spaces, seconded by Board Member Glassman.

A roll call vote was taken and resulted in the unanimous approval of the motion in a vote of Five (5) to Zero (0).

Board Member Kalife – Yes	Board Member Glassman – Yes	Board Member Cruz – Yes
Board Member Duff – Yes	Chair Person Dawicki - Yes	

Chair Dawicki then asked for a motion to grant Site Plan approval for **Case #19-15**, with conditions, for new construction of a 4600+/- SF fast-food restaurant, located at 1080 Kings Highway (Map 125, Lot 29), in the Planned Business and Industrial - A zoning districts.

Board Member Duff made a motion to approve the Site Plan Application for **Case #19-15**, with the following conditions, seconded by Board Member Glassman:

- Applicant agrees to donate ten street trees to the City of New Bedford to be planted at the City's discretion.
- Applicant agrees to propose a Landscape Plan to planning staff and work together with staff in creating an acceptable landscape design.
- The applicant will agree with the recommendations of DPI and take into accommodation all of DPI's suggested recommendations.

ATTACHMENT 2

Note: These are minutes only. A complete copy of the meeting audio is available on the City of New Bedford website at: <http://www.newbedford-ma.gov/cable-access/government-access-channel-18/program-schedule/>

- The hours of operation are to be documented as 5:00 a.m. to 12 midnight.
- The illuminated signs shall be turned off no later than one hour after closing.
- The applicant agrees, if possible, to pull in the flared drain ends, away from the City of New Bedford easement for an existing 36 inch sewer drain.
- The applicant agrees to any additional erosion control measures stipulated by the City of New Bedford Conservation Commission.
- Application and plans are to be corrected for inconsistencies, which includes the correction of the Title Box which reads New Bedford as located in Providence County.

Motion carried unanimously Five (5) to Zero (0).

8. Case #20-15: Thomson Antique World

Request by applicant, Thomson Antique World (8 Baker Street, Warren, RI 02885), for Site Plan Review for use of a weekend flea market in the existing parking lot, located at 19 Hathaway Road (Map 101, Lot 8), in the Industrial - B zoning district. Applicant's agent: Thompson Farland, Inc., 398 County Street, New Bedford, MA 02740.

Board member K. Duff recused herself from the case consideration, citing that her office has a current project with project engineer's Thomson Farland.

Attorney Christopher Saunders stepped to the podium and stated he was retained the previous day to now represent the applicant's submittal. Available to respond to engineering questions was Nick Dufresne of Thompson Farland. Also present was Douglas Thomson of Thomson Antique World.

Attorney Saunders described this project as a "unique proposal for an outdoor antique marketplace." Points addressed were: 1. Saturday and Sunday hours of operation (8:00 a.m.-3:00 p.m.), with vendors arriving on a first come-first serve basis beginning at 7:00 a.m. for set up of their sales area, and breakdown of market place between 3:00 and 5:00 p.m.; 2. Vehicle entrance and exit to and from the parking lot, with vendors using the southwestern driveway, closer to Shawmut Avenue, with circulation path to follow along the side and rear perimeter of the site; 3. Striping of the lot, to delineate parking spaces for vendors and customers, which are to include handicap accessible parking areas; 4. The description of the portable mesh barrier that will separate the sales area from parking area; 5. Waiver request for Site Plan regulations for a drainage report/plan, landscape plan, and lighting plan; 6. Administrative appeal to the Building Inspector's stipulation for Site Plan Approval for this business proposal; 6. Hours of operation that overlap with Klein Greenhouse business operations; and 7. Maintenance of vegetation at each entrance/exit at Hathaway Road for site line visibility.

With no further questions or concerns, the Chair asked for a motion. Board Member Cruz made the motion to approve the Site Plan Application for **Case #20-15**, for use of a weekend flea market in the existing parking lot, located at 19 Hathaway Road (Map 101, Lot 8), in the Industrial - B zoning district, with the following conditions for approval, seconded by Board Member Glassman:

- Applicant agrees to provide and delineate adequate handicap accessible parking, to serve both the Market and Klein Greenhouse businesses.
- The applicant agrees to maintain vegetation at each entrance/exit at Hathaway Road to ensure site line visibility for safety reasons.
- The Planning Board accepts the applicant's verbal request to waive the Site Plan submittal and technical requirements for landscape plan, drainage report/plan, and lighting plan.

Motion carried unanimously Four (4) to Zero (0).



April 6, 2016

City of New Bedford
Planning Department
Attn: Jennifer Gonet
133 William St. Rm 303
New Bedford, MA 02740

Re: McDonald's
1080 King's Highway
New Bedford, MA
(Site Plan & Special Permit Approval (Case #19-15) Amendment Application
14-10 13-14

Dear Ms. Gonet:

On behalf of McDonald's USA, LLC (c/o Bohler Engineering) please find the enclosed Applications to modify recently issued Site Plan Approval and Special Permit (Case #19-15) in association with the "McDonald's" restaurant redevelopment. In support of these applications please find the following enclosures;

- Sixteen (16) Development Impact Statements;
- Sixteen (16) Special Permit Applications;
- Sixteen (16) Site Plan Applications;
- Sixteen (16) Site Plan Review Application Checklist;
- Sixteen (16) Modification to Approved Plan Exhibit;
- Four (4) Certified Abutters List;
- Four (4) Copies of current property deed;
- Sixteen (16) Photos of existing conditions;
- Sixteen (16) emergency vehicle circulation exhibits;
- Sixteen (16) lot light fixture cut sheet;
- McDonald's USA, LLC applicant authorization letter;
- Nine (9) Drainage Reports prepared by Bohler Engineering, dated 9/15/15 (previously submitted);
- Four (4) Site Development Plan set prepared by Bohler Engineering, revised through January 12, 2016;
- Twelve (12) 11x17 Site Plan sets prepared by Bohler Engineering, revised through January 12, 2016;
- Four (4) Architectural plans;
- Twelve (12) 11x17 Architectural plans;
- One (1) Electronic Copy (PDF & CAD) of Site Development Plan set;
- \$1,200 Check for Special Permit & Site Plan Review Application Fees;

The minor amendments to the previously approved plan are a result of a ±750 SF building addition to include an indoor Playplace. The Playplace addition will replace five parking spaces, reducing the 40 approved parking spaces to 35. We believe that the reduction in parking meets the intent of the original Special Permit Decision and provide justification in the Development Impact Statement.

The modified plan still results in a substantial decrease in impervious surface over existing conditions and does not change the limit of disturbance of previously approved drainage improvements.. As such, the previously approved drainage analysis and report are unmodified as the negligible changes do not change the intent of the approved drainage analysis.

ATTACHMENT 3

Case 13-16 + 14-16

PLANNING
APR 08 2
DEPARTMENT



BOHLER[™]
ENGINEERING

The applicant respectfully requests that the application package be reviewed upon receipt and if deemed complete, placed on the Planning Board's May 11, 2016 meeting agenda for review. Should you have any questions or need additional information, please do not hesitate to contact me at 508-480-9900.

Sincerely,
BOHLER ENGINEERING

Eric G. Dubrule

John A. Kucich, P.E.

W142005
Letter Planning 04-6-16.docx



April 6, 2016

City of New Bedford
Planning Department
Attn: Jennifer Gonet
133 William St. Rm 303
New Bedford, MA 02740

Re: McDonald's
1080 King's Highway
New Bedford, MA
Development Impact Statement

Dear Ms. Gonet:

Please accept this Development Impact Statement in support of McDonald's USA LLC's (c/o Bohler Engineering) request to Amend the Site Plan and Special Permit Approvals (Case #19-15) issued in association with the "McDonald's" restaurant redevelopment project being proposed at a parcel of land located within McDonald's Leased area within King's Plaza Shopping Center at 1080 Kings Highway ("site"). The subject property is further identified as Map #125, Lot #29 on the City of New Bedford's Tax Assessor's maps. The site, which contains approximately 0.95 acres of land situated within the Planned Business (PB) zoning district, is currently developed with an existing McDonald's restaurant and associated paved parking.

The proposed project involves the demolition of the existing $\pm 5,145$ square foot McDonald's and construction of $5,202\pm$ square foot McDonald's with 35 parking spaces. Based upon the size of the building, the proposed "McDonald's" requires 63 parking spaces be provided in accordance with Section 3130 of the New Bedford Zoning Laws. The Applicant is requesting a Special Permit under Section 3120 of the New Bedford Zoning Laws to allow a reduction in the number of required parking spaces down to the 35 spaces proposed. The standard method for calculating trip generation, according to the Institute of Transportation engineers (ITE) trip Generation Manual, Ninth Edition is a function of building area and the number of seats for a restaurant use. It's notable that under existing conditions there are 50 parking stalls and 124 seats, where proposed conditions provide 35 parking spaces and substantially reduces seats to 84. This is a 32% reduction in seats and only a 30% reduction in spaces as compared to existing conditions. Based on current traffic volume to the existing store and the substantial reduction in seats, the applicant is confident that 35 parking spaces will be adequate to accommodate the parking demand for the development. It is further notable that there is an abundance of underutilized parking in the shopping center.

Traffic circulation proximate to the McDonald's is being improved with the addition of curbing and designated entrance & exit driveways. Additional improvements include side-by-side drive-thru ordering stations, increased landscaping, decreased impervious area ($\pm 4,425$ SF reduction), new utilities and a drainage system which includes the addition of water quality treatment where none exists currently. Stormwater treatment will be improved by increasing pervious area within the Site and also by adding two (2) stormwater quality units.

PLANNING
APR 08 2016
DEPARTMENT

ATTACHMENT 4

CASE 13-16 + 14-16



BOHLERTM
ENGINEERING

The applicant respectfully requests that the application package be reviewed upon receipt and if deemed complete, placed on the Planning Board's May 11, 2016 meeting agenda for review. Should you have any questions or need additional information, please do not hesitate to contact me at 508-480-9900.

Sincerely,

BOHLER ENGINEERING

Eric G. Dubrule

John A. Kucich, P.E.

W142005
Letter Planning 04-6-16 docx

2016 APR -8 A 7:56



CITY OF NEW BEDFORD
JONATHAN F. MITCHELL, MAYOR

PLANNING BOARD

CITY CLERK
SUBMIT TO:
Planning Department
133 William Street
Room 303
New Bedford, MA 0274

SPECIAL PERMIT APPLICATION

The undersigned, being the Applicant, seeks Special Permit Approval for property depicted on a plan entitled: Site Development Plans by: Bohler Engineering dated: 2/18/16

1. Application Information

Street Address: 1080 Kings Highway

Assessor's Map(s): 125 Lot(s) 29

Registry of Deeds Book: 8820 Page: 194

Zoning District: Planned Business

Applicant's Name (printed): McDonald's USA, LLC c/o Bohler Engineering (Eric Dubrule)

Mailing Address: 352 Turnpike Rd Southborough MA 01772
 (Street) (City) (State) (Zip)

Contact Information: 508 480 9900 edubrule@bohlereng.com
 Telephone Number Email Address

Applicant's Relationship to Property: Owner Contract Vendee Other Lessee

List all submitted materials (include document titles & volume numbers where applicable) below:

- Site Plan Set by Bohler Engineering Dated 8/12/15 and revised through 1/21/16
- Drainage Report by Bohler Engineering Dated August 2015.
- Elevations & Floor Plan
- Deed
- McDonald's Authorization Letter
- Abutters List
- Departmental Sign-off Sheet
- Existing Site Photos
- Electronic Submission

By signing below, I/we acknowledge that all information presented herein is true to the best of my/our knowledge. I/we further understand that any false information intentionally provided or omitted is grounds for the revocation of the approval (s). I/we also give Planning Department staff and Planning Board Members the right to access the premises (both interior and exterior) at reasonable times and upon reasonable notice for the purpose of taking photographs and conducting other visual inspections.

4/6/16
Date

[Signature]
Signature of Applicant

City Hall • 133 William Street • Room 303 • New Bedford, MA 02740 • www.newbedford-ma.gov
PH: (508)979-1488 • FX: (508)979-1576

PLANNING
APR 08 2016
DEPARTMENT

AKC 13-16

2. Zoning Classifications

Present Use of Premises: McDonald's Restaurant (Fast-food w/ Drive-thru)

Proposed Use of Premises: McDonald's Restaurant (Fast-food w/ Drive-thru)

Zoning Relief Previously Granted (Variances, Special Permits, with Dates Granted):
n/a

3. Briefly Describe the Proposed Project and Specify all Requested Special Permits:

The project proposes to demolish the existing ±5,145 SF fast-food restaurant to construct a new ±5,202 SF fast-food restaurant.

Traffic circulation proximate to the McDonald's is being improved with the addition of curbing and designated entrance & exit driveways.

Additional improvements include stormwater treatment, new utility connections, landscaping and building signage. The existing freestanding sign will remain. It's notable that the existing 50 parking spaces will be reduced to 35, which is sufficient for operations, however does not appear to be in compliance with minimum parking requirements and will require a Special Permit for Parking Reduction.

4. Please complete the following:

	<u>Existing</u>	<u>Allowed/Required</u>	<u>Proposed</u>
Lot Area (sq ft)	303,630 SF	0	no change
Lot Width (ft)	±665-ft	n/a	no change
Number of Dwelling Units	0	0	0
Total Gross Floor Area (sq ft)	±5,145 SF	n/a	±5,202 SF
Residential Gross Floor Area (sq ft)	n/a	n/a	n/a
Non-Residential Gross Floor Area (sq ft)	±5,145 SF	n/a	±5,202 SF
Building Height (ft)	±16-ft	100-ft	20'-3"
Front Setback (ft)	±206-ft	25-ft	±174.6-ft
Side Setback (ft)	± 375-ft	25-ft	±410-ft
Side Setback (ft)	±148-ft	25-ft	±127.9-ft
Rear Setback (ft)	±50.5-ft	25-ft	±68.7-ft
Lot Coverage by Buildings (% of Lot Area)	11.4%*	50%	12.5%*
Permeable Open Space (% of Lot Area)	15.0%	20%	21.8%
Green Space (% of Lot Area)	15.0%	20%	21.8%
Off-Street Parking Spaces	50	63	35
Long-Term Bicycle Parking Spaces	0	0	0
Short-Term Bicycle Parking Spaces	0	0	0
Loading Bays	1	1	1

* Calculation based on 41,534 SF lease area.

5. Please complete the following:

	Existing	Proposed		
a) Number of customers per day:	<u>1,100</u>	<u>1,100</u>		
b) Number of employees:	<u>35</u>	<u>40</u>		
c) Hours of operation:	<u>24</u>	<u>24</u>		
d) Days of operation:	<u>7 days</u>	<u>7 days</u>		
e) Hours of deliveries:	<u>7a-6p</u>	<u>7a-6p</u>		
f) Frequency of deliveries:	<input type="checkbox"/> Daily	<input type="checkbox"/> Weekly	<input type="checkbox"/> Monthly	<input checked="" type="checkbox"/> Other: <u>3 times per week</u>

6. OWNERSHIP VERIFICATION

This section is to be completed & signed by the property owner:

I hereby authorize the following Applicant: McDonald's USA, LLC c/o Bohler Engineering

at the following address: 352 Turnpike Road, Southborough, MA 01772

to apply for: Planning Board - Special Permit (Parking Reduction)

on premises located at: 1080 Kings Highway, New Bedford, MA

in current ownership since: October 5, 2007

whose address is: 44 South Bayles Avenue, Port Washington, NY11050

for which the record title stands in the name of: Cedar-Kings, LLC

whose address is: 44 South Bayles Avenue, Port Washington, NY11050

by a deed duly recorded in the:

Registry of Deeds of County: Bristol Book: 8820 Page: 194

OR Registry District of the Land Court, Certificate No.: _____ Book: _____ Page: _____

I/we acknowledge that all information presented herein is true to the best of my/our knowledge. I/we further understand that any false information intentionally provided or omitted is grounds for the revocation of the approval(s). I/we also give Planning Department staff and Planning Board Members the right to access the premises (both interior and exterior) at reasonable times and upon reasonable notice for the purpose of taking photographs and conducting other visual inspections.

4-1-16

Date

Charles Burkert, VP Development & Construction
Signature of Land Owner (If authorized Trustee, Officer or Agent, so identify)

CHARLES BURKERT

VP DEVELOPMENT & CONSTRUCTION

Cedar-Kings, LLC

by Cedar Realty Trust



CITY OF NEW BEDFORD
JONATHAN F. MITCHELL, MAYOR

CITY CLERKS OFFICE
NEW BEDFORD, MA

PLANNING BOARD

2015 APR -8 A 7:56

CITY CLERK

SUBMIT TO:
Planning Department
133 William Street
Room 303
New Bedford, MA 0274

SITE PLAN REVIEW APPLICATION

The undersigned, being the Applicant, seeks Site Plan Approval for property depicted on a plan entitled: Site Development Plans by: Bohler Engineering dated: 2/18/2015

1. Application Information

Street Address: 1080 Kings Highway

Assessor's Map(s): 125 Lot(s) 29

Registry of Deeds Book: 8820 Page: 194

Zoning District: Planned Business

Applicant's Name (printed): McDonald's USA, LLC c/o Bohler Engineering (Eric Dubrule)

Mailing Address: 352 Turnpike Rd Southborough MA 01772
(Street) (City) (State) (Zip)

Contact Information: 508 480 9900 edubrule@bohlereng.com

Applicant's Relationship to Property: Telephone Number Email Address
 Owner Contract Vendee Other Lessee

List all submitted materials (include document titles & volume numbers where applicable) below:

Site Plan Set by Bohler Engineering Dated 8/12/15 and Revised through 1/21/2016
 Drainage Report by Bohler Engineering Dated August 2015.
 Elevations & Floor Plan
 Deed
 McDonald's Authorization Letter
 Abutters List
 Departmental Sign-off Sheet
 Existing Site Photos
 Electronic Submission

By signing below, I/we acknowledge that all information presented herein is true to the best of my/our knowledge. I/we further understand that any false information intentionally provided or omitted is grounds for the revocation of the approval (s). I/we also give Planning Department staff and Planning Board Members the right to access the premises (both interior and exterior) at reasonable times and upon reasonable notice for the purpose of taking photographs and conducting other visual inspections.

4/6/16
Date

[Signature]
Signature of Applicant

City Hall • 133 William Street • Room 303 • New Bedford, MA 02740 • www.newbedford-ma.gov
PH: (508)979-1488 • FX: (508)979-1576

Case 14-16

PLANNING
APR 08 2015
DEPARTMENT

2. Review Applicability (Check All That Apply to Your Proposal)

Category	Construction	Scale
<input type="checkbox"/> Residential	<input checked="" type="checkbox"/> New Construction	<input type="checkbox"/> < 2,000 gross sq feet
<input checked="" type="checkbox"/> Commercial	<input type="checkbox"/> Expansion of Existing	<input checked="" type="checkbox"/> > 2,000 gross sq feet
<input type="checkbox"/> Industrial	<input type="checkbox"/> Conversion	<input type="checkbox"/> 3 or more new residential units
<input type="checkbox"/> Mixed (Check all categories that apply)	<input type="checkbox"/> Rehabilitation	<input type="checkbox"/> 1 or more new units in existing res. multi-unit
		<input checked="" type="checkbox"/> Drive Thru Proposed
		<input type="checkbox"/> Ground Sign Proposed
		<input type="checkbox"/> Residential Driveway With > 1 curbcut

3. Zoning Classifications

Present Use of Premises: McDonald's Restaurant (Fast-food w/ Drive-thru)

Proposed Use of Premises: McDonald's Restaurant (Fast-food w/ Drive-thru)

Zoning Relief Previously Granted (Variances, Special Permits, with Dates Granted):
n/a

4. Briefly Describe the Proposed Project:

The project proposes to demolish the existing ±5,145 SF fast-food restaurant to construct a new ±5,202 SF fast-food restaurant.

Traffic circulation proximate to the McDonald's is being improved with the addition of curbing and designated entrance & exit driveways.

Additional improvements include stormwater treatment, new utility connections, landscaping and building signage. The existing freestanding sign will remain. It's notable that the existing 50 parking spaces will be reduced to 35, which is sufficient for operations, however does not appear to be in compliance with minimum parking requirements and will require a Special Permit for Parking Reduction.

5. Please complete the following:

	<u>Existing</u>	<u>Allowed/Required</u>	<u>Proposed</u>
Lot Area (sq ft)	303,630 SF	0	no change
Lot Width (ft)	±665-ft	n/a	no change
Number of Dwelling Units	0	0	0
Total Gross Floor Area (sq ft)	±5,145 SF	n/a	±5,202 SF
Residential Gross Floor Area (sq ft)	n/a	n/a	n/a
Non-Residential Gross Floor Area (sq ft)	±5,145 SF	n/a	±5,202 SF
Building Height (ft)	±16-ft	100-ft	20'-3"
Front Setback (ft)	±206-ft	25-ft	±174.6-ft
Side Setback (ft)	± 375-ft	25-ft	±410-ft
Side Setback (ft)	±148-ft	25-ft	±127.9-ft

Rear Setback (ft)	±50.5-ft	25-ft	±68.7-ft
Lot Coverage by Buildings (% of Lot Area)	11.4%*	50%	12.5%*
Permeable Open Space (% of Lot Area)	15.0%	20%	21.8%
Green Space (% of Lot Area)	15.0%	20%	21.8%
Off-Street Parking Spaces	50	63	35
Long-Term Bicycle Parking Spaces	0	0	0
Short-Term Bicycle Parking Spaces	0	0	0
Loading Bays	1	1	1

* Calculation based on 41,534 SF lease area.

6. Please complete the following:

	Existing	Proposed
a) Number of customers per day:	1,100	1,100
b) Number of employees:	35	40
c) Hours of operation:	24	24
d) Days of operation:	7 days	7days
e) Hours of deliveries:	7a-6p	7a-6p
f) Frequency of deliveries: <input type="checkbox"/> Daily <input type="checkbox"/> Weekly <input type="checkbox"/> Monthly <input checked="" type="checkbox"/> Other:		3 times per week

7. Planning Board Special Permits:

The applicant is also requesting a Special Permit from the Planning Board.

Specify the requested Special Permit(s) below, and set forth within attached Development Impact Statement how the request meets approval criteria listed in §5320 of the zoning code.

Special Permit for Parking Reduction

8. ZBA Variances and Special Permits:

NOTICE: Checking below does not constitute application for a special permit or a variance. The applicant must also file the proper application form and fee with the Zoning Board of Appeals.

The applicant is also requesting a special permit from the ZBA:

Specify zoning code section & title

The applicant is also requesting a variance from the ZBA:

Specify zoning code section & title

9. OWNERSHIP VERIFICATION

This section is to be completed & signed by the property owner:

I hereby authorize the following Applicant: McDonald's USA, LLC c/o Bohler Engineering

at the following address: 352 Turnpike Road, Soutborough, MA 01772

to apply for: Planning Board - Site Plan Review

on premises located at: 1080 Kings Highway, New Bedford, MA

in current ownership since: October 5, 2007

whose address is: 44 South Bayles Avenue, Port Washington, NY11050

for which the record title stands in the name of: Cedar-Kings, LLC

whose address is: 44 South Bayles Avenue, Port Washington, NY11050

by a deed duly recorded in the:

Registry of Deeds of County: Bristol Book: 8820 Page: 194

OR Registry District of the Land Court, Certificate No.: _____ Book: _____ Page: _____

I/we acknowledge that all information presented herein is true to the best of my/our knowledge. I/we further understand that any false information intentionally provided or omitted is grounds for the revocation of the approval(s). I/we also give Planning Department staff and Planning Board Members the right to access the premises (both interior and exterior) at reasonable times and upon reasonable notice for the purpose of taking photographs and conducting other visual inspections.

4-1-16
Date

Charles Burkert, V.P. Development & Construction

Signature of Land Owner (If authorized Trustee, Officer or Agent, so identify)
Cedar-Kings, LLC
by Cedar Realty Trust

CHARLES BURKERT
VP DEVELOPMENT & CONSTRUCTION



McDonald's USA, LLC
690 Canton Street
Suite 310
Westwood, MA 02090
(781) 329-1450

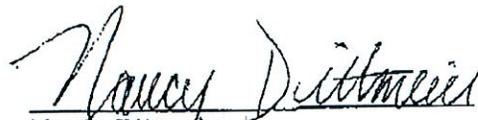
May 22, 2007

Bohler Engineering, P.C.
352 Turnpike Road
Southborough, MA 01756

To Whom It May Concern:

McDonald's USA, LLC with a usual place of business in Westwood, Massachusetts, does hereby authorize the employees of Bohler Engineering, P.C. to apply for and represent McDonald's USA, LLC in filing of any applications for required permits and/or approvals for the construction, operation and maintenance of McDonald's USA, LLC restaurants including, but not limited to, appearing before any governmental agency at general meetings or public hearing addressing such construction/improvement of McDonald's USA, LLC.

McDonald's USA, LLC


Nancy Dittmeier

PLANNING
APR 08 2016
DEPARTMENT

Case 13-16
Case 14-16

ATTACHMENT 7



STAFF REPORT

FROM: Connie Brawders, Staff Planner

TO: Jennifer Clarke, AICP, Deputy Director, Department of Planning, Housing & Community Development

MEETING DATE: September 9, 2015

MASTER PLAN GOAL: Establish a sound foundation for future growth that builds upon its coastal location, preserves its historic legacy, and expands cultural and workforce opportunities.

MASTER PLAN ELEMENT: Jobs and Business

SUBJECT: **Case #19-15 – 1080 Kings Hwy – McDonald's USA, LLC**

Request to consider the following:

Request to consider **Site Plan Review** for new construction of a 4600+/- SF fast-food restaurant and **Special Permit** for reduction of parking spaces, located at in the Planned Business and Industrial - A zoning districts.

Applicant: McDonald's USA, LLC, Northeast Region, 690 Canton Street, Westwood, MA 02090

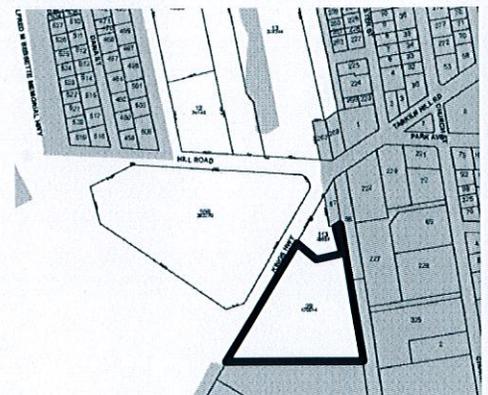
Applicant's Agent: Eric Dubrule, Bohler Engineering, 352 Turnpike Road, Southborough, MA 01772.

Owner: Cedar-Kings, 44 South Bayles Avenue, Port Washington, NY 11050

Location: 1080 Kings Highway (Map 125, Lot 29), (Attachment 2)

Key Items for Consideration:

- Conformance to Site Plan & Zoning Criteria
- Traffic Impact & Interior Circulation
- Impact on Abutters
- Comments Received
- Potential Business Redevelopment Under Master Plan 2020 Proposed Kings Highway Transit Oriented Development (TOD)



Case Overview:

The applicant proposes to demolish the existing 5145 +/- SF fast-food restaurant and construct a new 4600 +/- fast-food restaurant. The redevelopment project is located on a 0.95 acre site at King's Plaza Shopping Center on land leased by McDonald's USA, LLC.

In 1955, Ray Kroc founded McDonald's System, the predecessor model of McDonald's Corporation. By 1958, McDonald's had served its 100 millionth hamburger. Today, the fast food restaurant serves 69 million customers per day, in 100 countries with 80% of the business being a franchise operation. (http://www.mcdonalds.com/us/en/our_story/our_history/the_ray_kroc_story.html)

The new fast-food establishment will provide 72 dine-in seats. The current business seats 124 guests. Under **Section 3130** of the New Bedford zoning code, the new construction will require 56 parking spaces. The applicant seeks a Special Permit for parking and loading under **Section 3120** for a reduction of parking spaces from 56 to 41 spaces, two of which are ADA compliant.

The applicant is also requesting a Special Permit from the Zoning Board of Appeals, as stipulated under **Appendix A-Table of Principal Use Regulations, Line 23. Restaurant, Fast-Food**, as a fast-food restaurant with drive-thru is not a by-right use in the Planned Business or Industrial –A zoning districts. According to McDonald's website, the first McDonald's drive-thru was created in 1975 near an Arizona military base to serve soldiers who weren't permitted to get out of their cars while wearing fatigues.

The applicant also asks for relief from 25' Side Yard and 25' Rear Yard Setbacks from the ZBA for the encroachment of the trash enclosure under **Appendix B-Table of Dimensions**.

Traffic circulation proximal to McDonald's is being improved with the addition of curbing and designated entrance and exit driveways. The new fast-food drive thru will offer side-by-side drive-thru ordering stations.

Additional improvements include stormwater treatment, a drainage system which provides for water quality treatment, and 4625 +/- decreased impervious surface area. New utility connections, landscaping design, and building signage are under review consideration by the Planning Board. The existing free standing sign will remain at the site.

The case deliverables were received by the office of the New Bedford City Clerk on August 14, 2014.

The applicant has paid the fee for Site Plan Review, Special Permit, and legal notification in the amount of \$600.00.

Legal Notice has been prepared and publication dates in a newspaper of general circulation were August 26, 2015 and September 2, 2015.

Notice to the Abutter's were sent via USPS Certified Mail by Applicant's Agent and verified.

The Owner is Cedar-Kings, LLC of 44 South Bayles Avenue, Port Washington, NY 11050 as recorded at Deed Book 8820, Page 194 in the Bristol County (S.D) Registry of Deeds. A letter of authorization has been provided by Nancy Dittmeier on behalf of McDonald's.

There is no project time line for completion submitted for consideration by the Planning Board, no cost figure is provided by the applicant, and no term of lease specified within the case deliverables (See **5452**. *The site plan shall be accompanied by a written statement indicating the estimated time required to complete the proposed project and any and all phases thereof. There shall be submitted a written estimate, showing in detail the costs of all site improvements planned.*)

Zoning:

This type of activity requires site plan review under City of New Bedford Site Plan Review at **5420**.

Applicability. Section 5421. *whereby, any new industrial or commercial construction or expansion over two thousand (2,000) gross square feet, or any new industrial or commercial construction or expansion requiring more than five (5) additional parking spaces is to be reviewed by the Planning Board.*

The site is located in the Planned Business and Industrial-A zoning districts. As described under Case Overview, fast food restaurants are not permitted by-right in these zoning districts.

Review of the Zoning Matrix finds the following:

Existing Lot Area dimension is 303,360 SF. No changes are proposed for the Lot Area. Lot Width/Frontage of 665+/- SF remains unchanged. Minimum area and frontage requirements are 0 for PB and Industrial-A; the regulations have been met. Current building height is 16+/- Ft; proposed height of the new construction is 20' 3", falling within the 100 FT maximum allowed height. Existing Front Setback is 206+/- FT; proposed Front Setback is 174.6+/- FT, meeting the 25 FT Front Setback stipulations. Current Side Setback is 375+/- FT; proposed Side Setback is 410+/- FT, meeting the 25 FT setback. Second Side Setback equals 148+/- FT; proposed is 127.2+/- meeting the regulation of 25 FT. Current Rear Setback is 50.5+/- FT; proposed 68.7+/- Feet, meeting the required 25 FT setback. The proposed trash enclosure does encroach within the rear setback requirements and the applicant will seek relief from the City of New Bedford ZBA on a date yet to be determined.

Existing Permeable Space is 11.4% based upon the current 41,534 SF lease area. New construction Lot Coverage is 10.7%. City of New Bedford Zoning Code requires no greater than 50% of the lot be covered by a building in PB and I-A. The applicant is increasing Permeable Open Space and Green Space from 15.0% to 22.3%, exceeding the minimum stipulation of 20%.

A **Special Permit** for Parking Reduction from 56 to 41 spaces is being considered concurrently by the Planning Board with **Site Plan** review. Current zoning requires *One (1) space per employee per shift for a minimum of five (5) spaces plus one (1) space per 100 SF of gross floor area*. The applicant proposes for employees will be part of the McDonald's team of staff. *One Loading Space for each building* is a condition of approval under **Appendix C-Table of Parking and Loading Requirements**. It is anticipated McDonald's will serve 1,100 customers per day, in a twenty-four hour period. The business will operated

twenty-four hours a day, seven days per week. Deliveries occur between the hours of 7:00 a.m. -6:00 p.m. three times per week.

Development Information:

The purpose of site plan review is to provide for detailed review of development proposals which have an impact on the natural or built environment of the City in order to promote the health, safety and general welfare of the community; to ensure adequate parking, safe and accessible pedestrian and vehicular circulation; and to minimize traffic impact on City streets.

Context:

The subject property is located on the east side of Kings Highway. Route 140 exit 4 is approximately 0.08 miles from the site. Penn Central Rail line easement is located northeast of the site.

Surrounding Kings Plaza businesses include Savers, Work out World, Ocean State Job Lot, Madrags, Family Dollar, Bank of America kiosk, Fashion Nails, and Rent-a-Center.

Parking and Traffic:

Traffic circulation proximate to the new structure is being improved with the addition of curbing and designated entrance and exit driveways.

Technical Review of Site Plan:

The plan sheets were stamped by J.A. Kucich, PE. Landscape Plan was signed by M.J. MRVA, Registered Landscape Architect. Note F of the Landscape Specifications state "Plantings required for certificate of occupancy shall be provided during the next appropriate season at the municipality's discretion". No landscape schedule has been provided for the Planning Board's consideration. Elevation drawings and a floor plan have been provided for the Planning Board's review. It would appear the elevation and floor plans are boiler plate drawings.

Site Visit:

A site visit was conducted on August 26, 2015. Findings include the following:

The site locus is a low point in the parking lot. A Drainage Report dated August 12, 2015 has been provided for the Planning Board's consideration. The applicant states in the report that the project meets or exceeds the applicable stormwater management requirements, and therefore, it is anticipated that this project will have no adverse impacts on the surrounding environment.

Interdepartmental Review Comments:

Plans were sent for review to the following departments: City Solicitor, Health Department, Inspectional Services, Engineering Department, Public Infrastructure, Conservation Commission, Fire Department, and School Department.

The Planning Division has received these responses:

Ronald Labelle, Commissioner of Public Works, provided a Memorandum dated September 2, 2015.

The School department had no remarks to report for 19-15 McDonald's USA. The Health Dept had No Comment to report on Case #19-15 McDonald's USA.

Sarah Porter, Conservation Agent for the City of New Bedford responded:
Case #19-15 McDonald's USA – A Notice of Intent has been filed for this project. It falls within the 100' Buffer Zone to Bordering Vegetated Wetlands. The initial hearing date is September 8, 2015.

Staff Findings :

- Staff recommends the applicant provide a landscape plan noting the type and number of plantings that will enhance the site.
- Staff recommends stipulations and comments by Department of Public Infrastructure are included as conditions for plan approval.
- The Title Box reads, Providence County; plan revisions should read, Bristol County.

Attachments:

1. Site Plan Review Application *SEE APPLICATION REC'D 04-08-2016*
2. Special Permit Application *SEE APPLICATION REC'D 04-08-2016*
3. Development Impact Statement *SEE DIS REC'D 04-08-2016*
4. Plan Set *SEE REVISED / MODIFIED THRU 01/21/2016*
5. Deed *SEE AMENDED REPORT / STAFF COMMENTS*
6. Letter of Authorization *SEE AMENDED REPORT / STAFF COMMENTS*
7. Site Photos *SEE AMENDED REPORT / STAFF COMMENTS*
8. Fire truck Circulation *SEE AMENDED REPORT / STAFF COMMENTS*
9. Drainage Report *SEE WEBSITE*
10. Memo from Ronald Labelle, DPI Commissioner, Dated September 2, 2015 *SEE AMENDED REPORT / STAFF COMMENTS*
11. Lighting Tear Sheet *SEE AMENDED REPORT / STAFF COMMENTS*



Ronald H. Labelle
Commissioner

CITY OF NEW BEDFORD

Jonathan F. Mitchell, Mayor

Water
Wastewater
Highways
Engineering
Cemeteries
Park Maintenance

MEMORANDUM

TO: City of New Bedford Planning Board

FROM: Ronald H. Labelle, Commissioner, D.P.I.

DATE: September 2, 2015

RE: Site Plan- McDonald's
Kings Highway
Plot 125 Lot 29

The Department of Public Infrastructure has reviewed the proposed site plan referenced above and recommends approval with the following conditions:

1. All utilities to be installed in accordance with City of New Bedford Standards.
2. Permits for drainage, sewer and water must be obtained from the Department of Public Infrastructure Engineering Division
3. Drainage design must comply with Phase II, Mass. Department stormwater management standards. All run off water from site must be treated before entering the existing swale.
4. Owner/ Developer must contact the Department of Public Infrastructure Engineering Division to assign a new address for the proposed building.
5. Owner/ Developer to verify the condition of the existing 6" sewer main on private property.
6. The Department of Public Infrastructure requires a final set of approval plans to be submitted that reflects all revisions made prior to the start of construction.
7. Developer and site contractor must schedule a pre-construction meeting with the Department of Public Infrastructure prior to the start of construction.
8. Upon completion Engineer must Submit "As Built Drawings" in CADD format prior to the certificate of occupancy being issued.

/ct

Cc: Department of Inspectional Services
Environmental Stewardship
Bohler Engineering
McDonald's USA, LLC

PLANNING
SEP 08 2015
DEPARTMENT

Deed

King's Plaza Associates Limited Partnership
of c/o WP Realty, Inc., 940 Haverford Road, Bryn Mawr, PA 19010 ("Grantor")

For consideration paid and in full consideration of Twelve Million and 00/100 Dollars
(\$12,000,000.00)

Grants to Cedar-Kings, LLC of 44 South Bayles Avenue, Port Washington, NY 11050
("Grantee")
With Quitclaim Covenants

Certain parcels of unregistered land situated in the City of New Bedford, County of
Bristol and Commonwealth of Massachusetts, described on Exhibit "A" attached hereto
and made a part hereof.

Together with all the buildings and other improvements thereon and all tenements, rights,
easements, hereditaments, rights of way, privileges, liberties, appendages and
appurtenances now or hereafter belong or in any way appertaining to such land.

Being the same premises conveyed to the Grantor by deed recorded with Bristol Co. S.D. in
Book 3214, Page 337.

Executed as a sealed instrument this 5 day of October, 2007.

**GRANTOR:
KING'S PLAZA ASSOCIATES LIMITED
PARTNERSHIP**

By: King's Plaza Developers Limited
Partnership, its General Partner

By: New King's Plaza, Inc.,
Its General Partner

By: 
Bryan S. Weingarten
President

REG OF DEEDS
REG #07
BRISTOL S

10/11/07 1:35PM 01
000000 #1737

FEE \$54720.00

CASH \$54720.00

PLANNING
APR 08 2016
DEPARTMENT

1024+1080 King's Plaza Hwy, New Bedford, MA

COMMONWEALTH OF PENNSYLVANIA

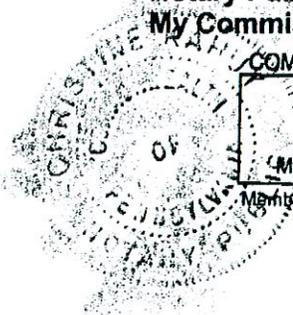
COUNTY OF DELAWARE, ss:

On this 1 day of October, 2007 before me, the undersigned notary public, personally appeared Bryan S. Weingarten, the President of New King's Plaza, Inc., General Partner of King's Plaza Developers Limited Partnership, general partner of King's Plaza Associates Limited Partnership, proved to me through satisfactory evidence of identification, which were PERSON KNOWN TO ME, to be the person whose name is signed on the preceding of attached document, and acknowledged to me that he signed it voluntarily for its stated purpose.

Christine Kahuy

Notary Public: _____
My Commission Expires: _____

(official signature and seal of notary)



COMMONWEALTH OF PENNSYLVANIA
Notarial Seal
Christine Kahuy, Notary Public
Baverford Twp., Delaware County
My Commission Expires Apr. 16, 2009

Member, Pennsylvania Association of Notaries

EXHIBIT "A"

That certain tract or parcel of land with all buildings and improvements shown as Lot B on a plan dated November 22, 1971, recorded with said Deeds, Plan Book 86, Plan No. 69, thereon situated on the easterly side of King's Highway (State Route 140) in the City of New Bedford, Bristol County, Massachusetts, is herein bounded and described:

Beginning at the most northwesterly corner of the herein described parcel said corner being located S 32 08' 24" W two hundred thirty four and 00/100 (234.00') from the intersection of the easterly highway line of King's Highway with the westerly line of land now or formerly of the Penn Central Railroad;

Thence proceeding S 58 04' 05" E a distance of one hundred twenty five and 00/100 (125.00) feet to a point;

Thence proceeding N 80 52' 14" E a distance of fifty-eight and 00/100 (58.00') feet to a point;

Thence proceeding along the chord of an arc N 08 18' 57" W a distance of one hundred nineteen and 98/100 (119.98') feet to a point, said arc having a radius eleven thousand, three hundred sixty and 19/100 (11,360.19') feet and an arc length of one hundred nineteen and 98/100 (119.98'), the last three courses bounded northerly, and westerly by land now or formerly of the Shell Oil Company;

Thence proceeding N 81 22' 53" E a distance of sixty-six and 00/100 (66.00') feet to a point;

Thence proceeding along the chord of an arc S 08 18' 46" E a distance of one hundred twenty two and 82/100 (122.82') feet to a point, said arc having a radius of eleven thousand four hundred twenty six and 19/100 (11,426.19') feet and an arch length of one hundred twenty two and 82/100 (122.82');

Thence proceeding S 08 00' 10" E a distance of one thousand four hundred twenty and 00/100 (1,420.00') feet to a point, the last three courses bounded northerly and easterly by land now or formerly of the Penn Central Railroad;

Thence proceeding S 81 59' 50" W a distance of four hundred twelve and 00/100 (412.00') feet to a point;

Thence proceeding N 08 00' 10" W a distance of four hundred eleven and 29/100 (411.29') feet to a point;

Thence proceeding N 58 32' 07" W a distance of thirty seven and 59/100 (37.59') feet to a point;

Thence proceeding N 10 08' 29" W a distance of three hundred sixty and 00/100 (360.00') feet to a point;

Thence proceeding N 57 56' 23" W a distance of two hundred seventy-six and 00/100 (276.00') to a point on the easterly side of King's Highway so called, the last five courses bounded southerly, westerly, southerly, westerly and southerly by land now or formerly of First Bristol Corporation, Trustee of Fieldstone Realty Trust;

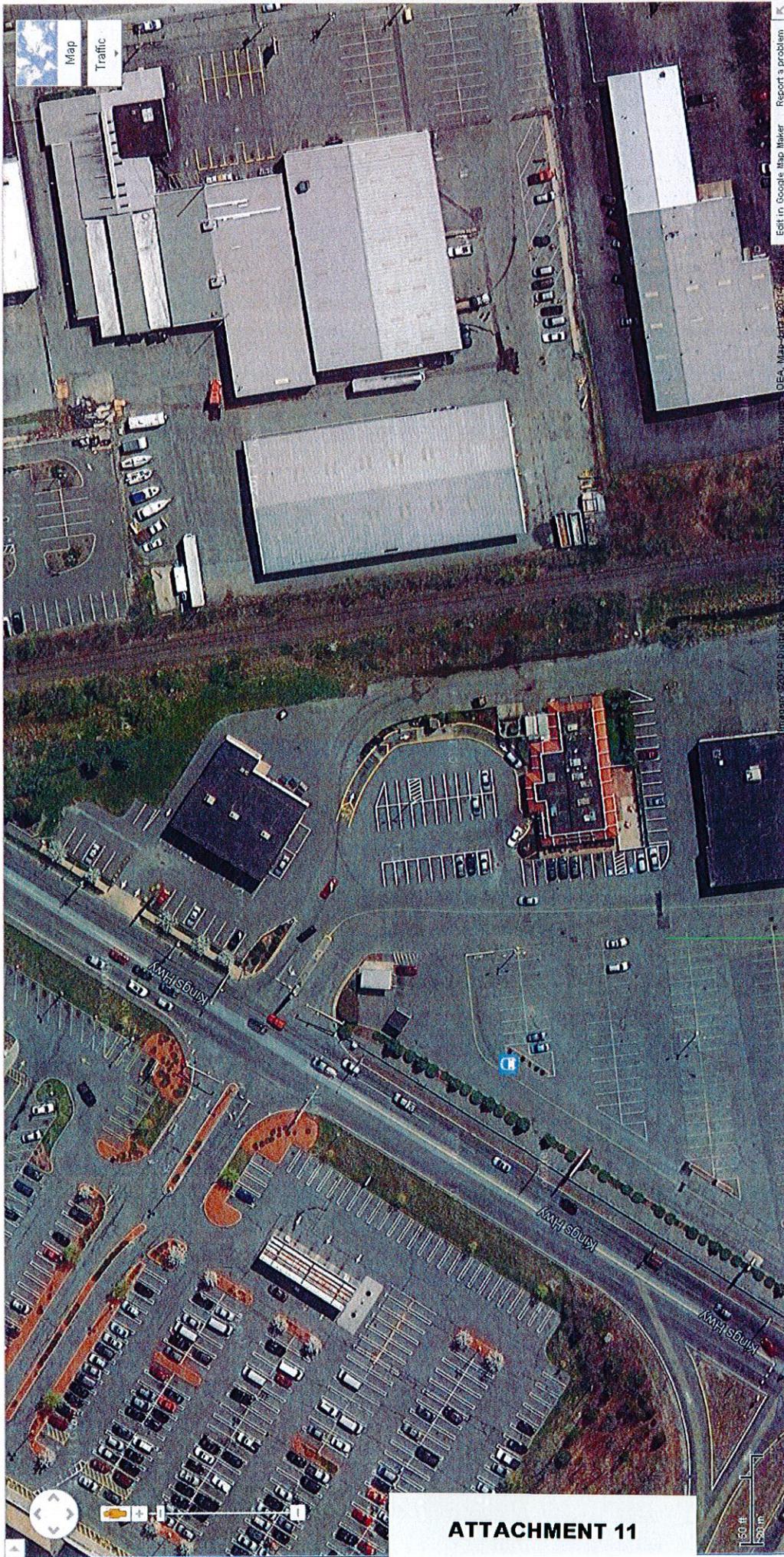
Thence proceeding N 32 08' 24" E along the easterly highway line of king's highway so-called a distance of thirty seven and 72/100 (37.72') feet to a Massachusetts Highway bound found;

Thence continuing N 32 08' 24" E along the said highway line a distance of five hundred seventy six and 18/100 (576.18') feet to a Massachusetts Highway bound found, thirty three and 00/100 (33.00') feet right of station +75.009;

Thence continuing N 32 08' 24" E along said highway line a distance of seventy seven and 66/100 (77.66') feet to the point and place of beginning;

Said parcel contains 15.348 acres more or less.

Together with and the benefit of Grant of Driveway and Access Easement and of Restriction between Shell Oil Company and King's Plaza Associates Limited Partnership dated June 6, 1995 and recorded in Book 3486, Page 228.



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PLANNING
APR 08 2016
APARTMENT

ATTACHMENT 11

Case 13-16
Case 14-16



WOW! \$10.00
FALLAS
COMMUNITY DONATION CENTER

Saver





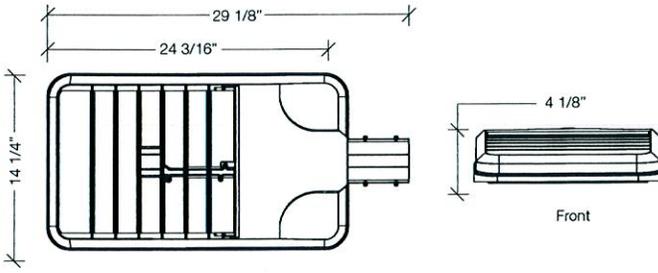


Type: _____
Project Name: **MCDONALDS**
Notes: **CHSE 13-16 + 14-16**

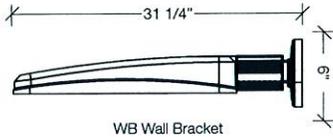
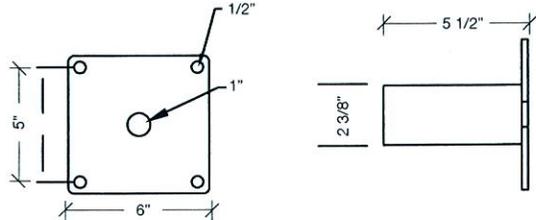
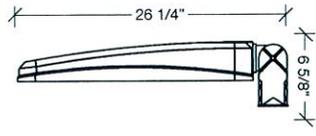
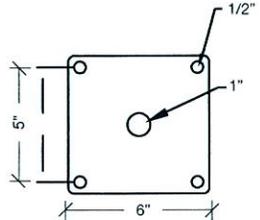
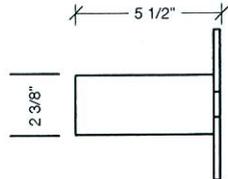
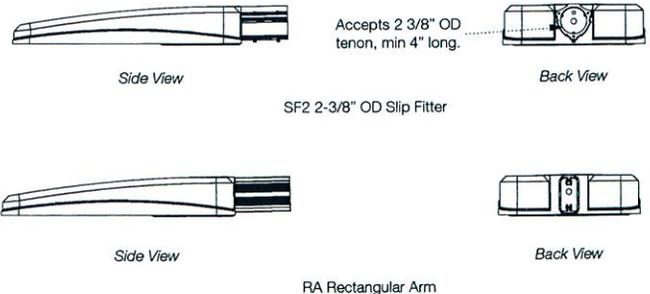
rev. 02.04.2015
VIPER - LARGE (LED)
Large Viper Luminaire
Max Weight: 25.0 lbs
Max EPA: 1 sq ft

Sample	VP-L	96NB-280	5K	T5R	UNV	PCR-TL	SF2	GENIXX	BLC	RA	BBT
Ordering											
	A	B	C	D	E	F	G	H	I	J	K

DETAILS



MOUNTING OPTIONS

A. MODEL

VP-L Viper - Large

B. ENGINE-WATTS

64NB-135 135 Watts - LED array
64NB-190 190 Watts - LED array
80NB-180 180 Watts - LED array
80NB-235 235 Watts - LED array
96NB-220 220 Watts - LED array
96NB-280 280 Watts - LED array

C. CCT - COLOR TEMP

5K 5000K (std.)
4K 4000K
3K 3000K

D. OPTICS

T1 type I
T2 type II
T3 type III
T4 type IV
T5R type V, rectangular
T5QM type V, square medium
T5W type V, round wide
FR front row auto optic

E. VOLTAGE

UNV 120-277V
347V 347V
480V 480V

F. ELECTRICAL OPTIONS

PCR-TL photocell, twist-lock
PCR-SC photocell, shorting cap
2PF dual power feed ^{1,2}

G. SENSOR OPTIONS

OCS occupancy sensor (on/off)
MDD motion dimming detector

H. CONTROL OPTIONS

GENI-XX Energeni ⁵

I. HOUSE SIDE SHIELD OPTIONS

HSS-90 house side shield 90°
HSS-180 house side shield 180°
BLC backlight control⁴

J. MOUNTING OPTIONS

RA rectangular arm
SF2 2 3/8" OD slip-fitter
PK2 2 3/8" adjustable knuckle
WB wall bracket

K. COLOR

BBT basic black textured
BMT black matte textured
WHT white textured
MBT metallic bronze textured
BZT bronze textured
DBT dark bronze textured
GYS gray smooth
DPS dark platinum smooth
GNT green textured
MST metallic silver textured
MTT metallic titanium textured
OWI old world iron
RAL _____

CERTIFICATIONS/LISTINGS




Certification Data: UL/cUL Wet Location Listed, LM79/LM80 Compliant, IDA approved, 3G Vibration Rated, DesignLights Consortium® Qualified³

¹ not available with 64NB-135
² not available @ 347V or 480V input
³ DesignLights Consortium Qualified. Refer to www.designlights.org Qualified Products List under Family Models for details.
⁴ T4 optic only
⁵ When ordering Energeni, specify the routine setting code (example GENI-04). See Energeni brochure and instructions for setting table and options. Not available with sensor options.



General: The Beacon Viper luminaire is available in two sizes with a wide choice of different LED Wattage configurations and optical distributions designed to replace HID lighting up to 1000W MH or HPS and with 5 different mounting options for application in a wide variety of new and existing installations. Luminaires are suitable for wet locations.

Bezel Optic System: Each Viper luminaire is supplied with an one piece optical cartridge system consisting of an LED engine, LED lamps, optics, gasket and stainless steel bezel. The cartridge is held together with internal brass standoffs soldered to the board so that it can be field replaced as a one piece optical system. Two-piece silicone and micro-cellular polyurethane foam gasket ensures a weather-proof seal around each individual LED.

The optical cartridge is secured to the die cast housing with fasteners. The optics are held in place without the use of adhesives. The cartridge assembly is available in various lighting distributions using TIR designed acrylic optical lenses over each LED.

Lifesield™ Circuit: Thermal circuit shall protect the luminaire from excessive temperature by interfacing with the 0-10V dimmable drivers to reduce drive current as necessary. The factory-preset temperature limits shall be designed to ensure maximum hours of operation to assure L70 rated lumen maintenance. The device shall activate at a specific, factory-preset temperature, and progressively reduce power over a finite temperature range.

A luminaire equipped with the device may be reliably operated in any ambient temperature up to 55°C (131°F). The thermal circuit will allow higher maximum Wattages than would be permissible on an unregulated luminaire (if some variation in light output is permissible), without risk of premature LED failure or lumen depreciation. Operation shall be smooth and undetectable to the eye. Thermal circuit shall directly measure the temperature at the LED solder point. Thermal circuit shall consist of surface mounted components mounted on the LED engine (printed circuit board). For maximum simplicity and reliability, the device shall have no dedicated enclosure, circuit board, wiring harness, gaskets, or hardware. Device shall have no moving parts, and shall operate entirely at low voltage. The device shall be located in an area of the luminaire that is protected from the elements. Thermal circuit shall be designed to "fail on", allowing the luminaire to revert to full power in the event of an interruption of its power supply, or faulty wiring connection to the drivers.

Device shall be able to co-exist with other 0-10V control devices (occupancy sensors, external dimmers, etc.). The device will effectively control the solder point temperature as needed; otherwise it will allow the other control device(s) to function unimpeded.

Printed Circuit Board (PCB): Aluminum thermal clad board with 0.062" thick aluminum base layer, thermally conductive dielectric layer, 0.0014" thick copper circuit layer circuit layer designed with copper pours to minimize thermal impedance across dielectric. Board will be mounted to the heat sink using minimum 12 #4-40 screws to ensure contact with thermal pad and heat sink. Use of thermal grease will not be allowed.

Housing and LED Thermal Management: The Viper' monolithic housing design creates over 4.5 square feet (small Viper) or 7.7 square feet (large Viper) of heat-sinking surface area. Vertical fins, combined with flow-thru openings prevent sediment and moisture buildup on critical heat sinking surfaces without the need for grates, screens or other debris control tactics. The Viper housing, electrical compartment and fitter are made from die cast aluminum that is pre-treated and powder-coated to meet the most rugged industry standards. The finish is corrosion resistant to meet ASTM-B-117, resists cracking or loss of adhesion per ASTM D522, resists surface impacts of up to 160 inch-pound. All external hardware is corrosion resistant. The housing serves as a heat-sink for the LED bezel with a separate compartment for the drivers.

Electrical Assembly: The fixture electrical compartment shall contain all LED driver components and shall be provided with a push-button terminal block for AC power connections. The housing is designed for an optional twist lock photo control receptacle.

Accessibility: Although the Viper luminaire is designed to operate for many years without maintenance, accessibility is a key component in its design. The Drivers are mounted on a removable door that is secured with keyslotted screws and hinges down for convenient access. The drivers are field replaceable using quick disconnects.

Drivers: Luminaires are equipped with an LED driver that accepts 100V through 277V, 50 Hz to 60 Hz (UNIV), or a driver that accepts 347V or 480V input. Power factor is .92 at full load. All electrical components are rated at 50,000 hours at full load and 25°C ambient conditions per MIL- 217F Notice 2. Dimming drivers are standard, with connections for external dimming equipment available upon request. Component-to-component wiring within the luminaire may carry no more than 80% of rated load and is listed by UL for use at 600VAC at 50°C or higher. Plug disconnects are listed by UL for use at 600 VAC, 13A or higher. 13A rating applies to primary (AC) side only.

Surge Protector: The on-board surge protector shall be a UL recognized component for the United States and Canada and have a surge current rating of 20,000 Amps using the industry standard 8/20 pSec wave. The LSP shall have a clamping voltage of 825V and surge rating of 540J. The case shall be a high-temperature, flame resistant plastic enclosure.

Fasteners: All fasteners shall be stainless steel. When tamper resistant fasteners are required, spanner HD (snake eye) style shall be provided (special tool required, consult factory).

Color Rendering Index (CRI): Luminaire shall have a minimum CRI of 67 at 5000K.

Operating Environment: Shall be able to operate normally in ambient temperatures from -40°C to 40°C

Finish: Finish shall be a Beacote V polyester powder-coat electro-statically applied and thermocured. Beacote V finish shall consist of a five stage iron phosphate chemical pretreatment regimen with a polymer primer sealer, oven dry off, and top coated with a thermoset super TGIC polyester powder coat finish. The finish shall meet the AAMA 605.2 performance specification which includes passing a 3000 hour salt spray test for corrosion resistance and resists cracking or loss of adhesion per ASTM D522 and resists surface impacts of up to 160 inch-pound.

Agency Certification: The luminaire shall bear a CSA label and be marked suitable for wet locations. The Beacon Viper is approved by the International Dark-Sky association as a dark sky friendly fixture.

Warranty: Beacon luminaires feature a 5 year limited warranty. Beacon LED luminaires with LED arrays feature a 5 year limited warranty covering the LED arrays. LED drivers are covered by a 5 year limited warranty. PIR sensors carry a 5 year limited warranty from the sensor manufacturer. See Warranty Information on www.beaconproducts.com complete details and exclusions.

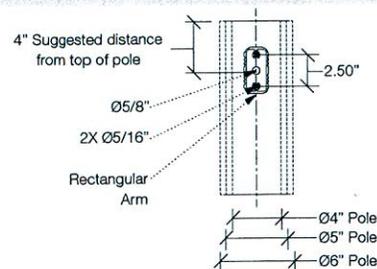
Power/Lumens & Distributions

Engine	Wattage	Delivered Lumens (varies by optic)	Delivered LPW	TM21 Calculated % Lumen Maint. at 100,000 hrs
64NB	135	12500-13150	93-97	93.84%
64NB	190	16500-17900	86-94	79.77%
80NB	180	17000-18100	93-100	92.73%
80NB	235	20000-21780	86-93	79.97%
96NB	220	20500-21780	93-100	92.73%
96NB	280	24700-26130	88-93	79.77%

TM21 is the framework for taking LM-80 data and making useful LED lifetime projections. Reported and Calculated Lifetimes shown are based on hours at the time of this printing. For current Reported and Calculated hours please contact factory or Beacon's web-site.

CCT (COLOR TEMP) Lumen Output Multipliers	CRI (Color Rendering)
5000K = 1.0	min 67 CRI
4000K = .92	min 70 CRI
3000K = .75	min 80 CRI

DRILL PATTERN



Due to our continued efforts to improve our products, product specifications are subject to change without notice.



KINGS HIGHWAY
 (1989 STATE HIGHWAY LAYOUT)
 (PUBLIC WIDTH VARIES)
 (NO ACCESS)

CITY CLERKS OFFICE
 NEW BEDFORD, MA

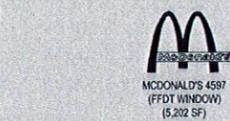
2016 APR -8 A 8:07

CITY CLERK



STOP

STOP



MCDONALD'S 4597
 (FFDT WINDOW)
 (5,202 SF)

PROPOSED MODIFICATION

BOHLER ENGINEERING
 352 TURNPIKE ROAD
 SOUTHBOROUGH, MA 01772
 Phone: (508) 480-9900
 Fax: (508) 480-9080
 www.BohlerEngineering.com

CIVIL & CONSULTING ENGINEERS
 SURVEYORS
 PROJECT MANAGERS
 ENVIRONMENTAL CONSULTANTS
 LANDSCAPE ARCHITECTS

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- NEW YORK, NY
- NEW YORK, NY
- PHILADELPHIA, PA
- SOUTH EASTON, MA
- BALTIMORE, MD
- SOUTH BEND, IN
- NORTHERN VIRGINIA
- WASHINGTON, DC
- CENTRAL VIRGINIA
- CHARLOTTE, NC
- RALEIGH, NC

CONSTRUCTION CHECK	DATE
CONSTRUCTION CHECK	DATE
PROJECT No.:	W142005
CAD I.D. #:	W142005ss4.dwg

STREET ADDRESS	
1080 KINGS HIGHWAY	
CITY	STATE
NEW BEDFORD	MASSACHUSETTS
COUNTY	
BRISTOL COUNTY	
SITE ID #	PLAN DESCRIPTION
020-0128	MODIFICATION TO APPROVED PLAN

J.A. KUCICH
 PROFESSIONAL ENGINEER
 MASSACHUSETTS LICENSE NO. 4132
 CONNECTICUT LICENSE NO. 9177
 RHODE ISLAND LICENSE NO. 9114
 MAINE LICENSE NO. 1783

McDonald's
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 NORTH-EAST REGION
 680 CANTON STREET
 WESTWOOD, MA

PLAN APPROVALS	SIGNATURE	DATE
APPROVED MCDONALD'S AGENT		
STATUS	DATE	BY
PLANNING	1/12/16	EGD
AS-BUILT		JAK
SHEET NO.	APR 08 2016	
OF	PART	

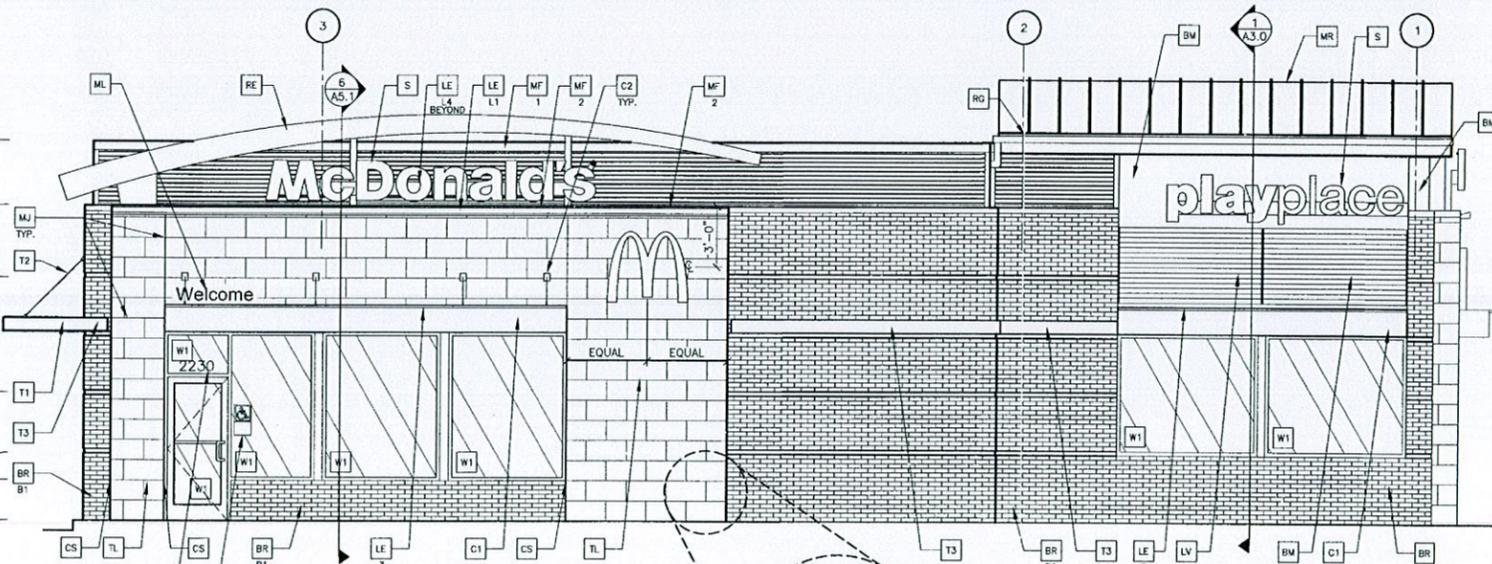
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1	9/15/15	GRADING AND DRAINAGE REVISIONS	BPB
2	9/28/15	REVISIONS PER PEER REVIEW COMMENT	BPB
3	10/5/15	REVISIONS PER PEER REVIEW COMMENT	EGD
4	01/21/16	REVISIONS PER PLACE ADDITION	CFD

CITY CLERKS OFFICE
NEW BEDFORD, MA

2016 APR -8 A 7:51

CITY CLERK

- T/BLK'G @ PARAPET
ELEV. + 18'-9 1/2"
- T/BLOCKING
ELEV. + 15'-7"
- B/BRICK REVEAL
ELEV. + 12'-0"
- B/TRELLIS &
1/BRICK REVEAL
ELEV. + 9'-4"
- B/BRICK REVEAL
ELEV. + 6'-4"
- B/BRICK REVEAL
ELEV. + 3'-4"
- T/SILL
ELEV. + 3'-0"
- T/SLAB
ELEV. + 0'-0"



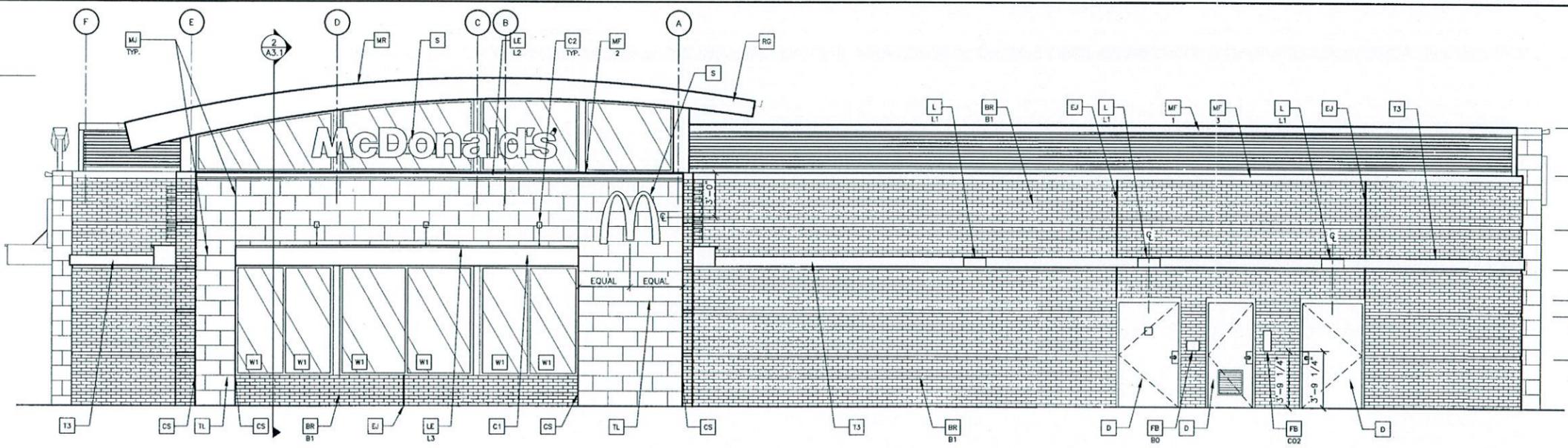
- T/BARREL VAULT ROOF
ELEV. + 21'-11"
- T/BLK'G @ PARAPET
ELEV. + 18'-9 1/2"
- T/BLK'G @ ARCADE
ELEV. + 15'-7"
- B/TRELLIS
ELEV. + 9'-4"
- T/SILL
ELEV. + 3'-4"
- T/SILL
ELEV. + 3'-0"
- T/SLAB
ELEV. + 0'-0"

BUILDING ADDRESS 6" H.
CHARACTERS AND 3/4" STROKE
ACCESSIBILITY SIGNAGE SEE
GEN NOTE #6 ON A1.0

SUGGESTED LAYOUT PATTERN FOR
TILE PER MANUFACTURER
RECOMMENDATIONS: 33% OFFSET

1 FRONT ELEVATION
1/4" = 1'-0"

- T/BARREL VAULT ROOF
ELEV. + 21'-11"
- T/BLOCKING PARAPET
ELEV. + 18'-9 1/2"
- T/BLOCKING
ELEV. + 15'-7"
- B/CANOPY &
1/WINDOW
ELEV. + 9'-4"
- T/DOOR
ELEV. + 7'-4"
- T/SILL
ELEV. + 2'-0"
- T/SLAB
ELEV. + 0'-0"



- T/BLK'G @ PARAPET
ELEV. + 18'-9 1/2"
- T/BLOCKING
ELEV. + 15'-7"
- B/BRICK REVEAL
ELEV. + 12'-0"
- B/TRELLIS &
1/BRICK REVEAL
ELEV. + 9'-4"
- T/DOOR
ELEV. + 7'-4"
- B/BRICK REVEAL
ELEV. + 6'-2 3/4"
- T/SILL
ELEV. + 3'-4"
- T/SLAB
ELEV. + 0'-0"

2 NON-DRIVE THRU ELEVATION
1/4" = 1'-0"

KEY NOTES:

- BM BREAK METAL
COLOR = CITYSCAPE BY METAL-ERA
- BR FACEBRICK
B1 - COLOR:
B1 = MODULAR "470-479 MEDIUM A" BY BELDEN OR EQUAL
- C1 ALUMINUM CANOPY SYSTEM (COLOR: GOLD)
- C2 ALUMINUM CANOPY TIE-BACK SYSTEM
- C3 ALUMINUM CANOPY SYSTEM
- CM CORRUGATED METAL PANEL - SEE 19/A5.0
C1 - COLOR:
C1 = "CITYSCAPE" BY METAL-ERA
- CS OUTSIDE CORNER STRIP, BY SCHLUTER - SEE TILE PACKAGE AND
GENERAL NOTES FOR ADDITIONAL INFORMATION
- D HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF
SURROUNDING MATERIAL
- EJ EXPANSION JOINT, SEE DETAIL 7/A4.1
- FB CO2 = BULK CO2 FILL BOX (EQPM SCHEDULE ITEM 49.00)
BO = BULK OIL FILL BOX (EQPM SCHEDULE ITEM 700.16) -
CONFIRM USE WITH MCD PROJECT MANAGER
- GR GUARD RAIL - SEE SITE PLAN
FOR EXACT LOCATION AND LENGTH
- L LIGHT FIXTURE (WALL SCONCE) - SEE ELECTRICAL
L1 - LIGHT:
L1 = UP AND DOWN FIXTURE
L2 = DOWN ONLY FIXTURE
- LE ACCENT LIGHTING - SEE ELECTRICAL
L1 - LED LIGHT:
L1 = UP AND DOWN FIXTURE
L2 = DOWN ONLY FIXTURE
L3 = INTEGRAL CANOPY FIXTURE
L4 = UP ONLY FIXTURE
- LV METAL LOUVER PANEL
- MJ MOVEMENT JOINT -
(SCHLUTER-GLEK PRODUCT #BN100H-B)
- ML METAL LETTERING - BY OTHERS
- MF METAL FASCIA - COLOR TO MATCH CORRUGATED
METAL PANEL - SEE 1/A5.0
1 - TYPE:
1 = PRE-FAB ANCHOR-TITE FASCIA
2 = PRE-FAB CUSTOM ARCADE FASCIA
3 = PRE-FAB MASONRY CAP FASCIA
- MR METAL ROOF - STANDING SEAM W/ALUMINUM
FINISH FASCIA TRIM, COLOR TO BE "YELLOW -
PANTONE COLOR #109U"
- PB PIPE BOLLARD - PAINTED YELLOW
- P1 (RMHC) COIN COLLECTOR
UNIT #APT D12000 STD
CALL 1-866-743-7435 TO ORDER
- RE ROOF CAP ELEMENT BY OTHERS
- RG CONTINUOUS RAIN GUTTERS AT BARREL VAULT ROOF
SURROUNDING MATERIAL
- RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH
SURROUNDING MATERIAL
- S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE
PERMIT.
- T1 ALUMINUM TRELLIS SYSTEM
- T2 TRELLIS TIE-BACK SYSTEM
- T3 ALUMINUM TRELLIS 2" x 8" WALL FASCIA SYSTEM
- REFER TO SIM. DETAIL 3 ON SHEET A5.1
- TL BRUSH STROKE TILE (H'S U.S.)
BY EUROWEST DECORATIVE SURFACES
COLOR: OYSTER
CONTACT: JAN DETER 714.937.7500
- W1 EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS
- SEE ASSEMBLY NOTES
- W2 DRIVE-THRU WINDOW BY READY ACCESS 600 SERIES, 36" SERVICE
HEIGHT WITH TRANSCOM - MANUAL OPEN, ELECTRONIC RELEASE
- XX SLIDE DIRECTION: RL = RIGHT TO LEFT
LR = LEFT TO RIGHT



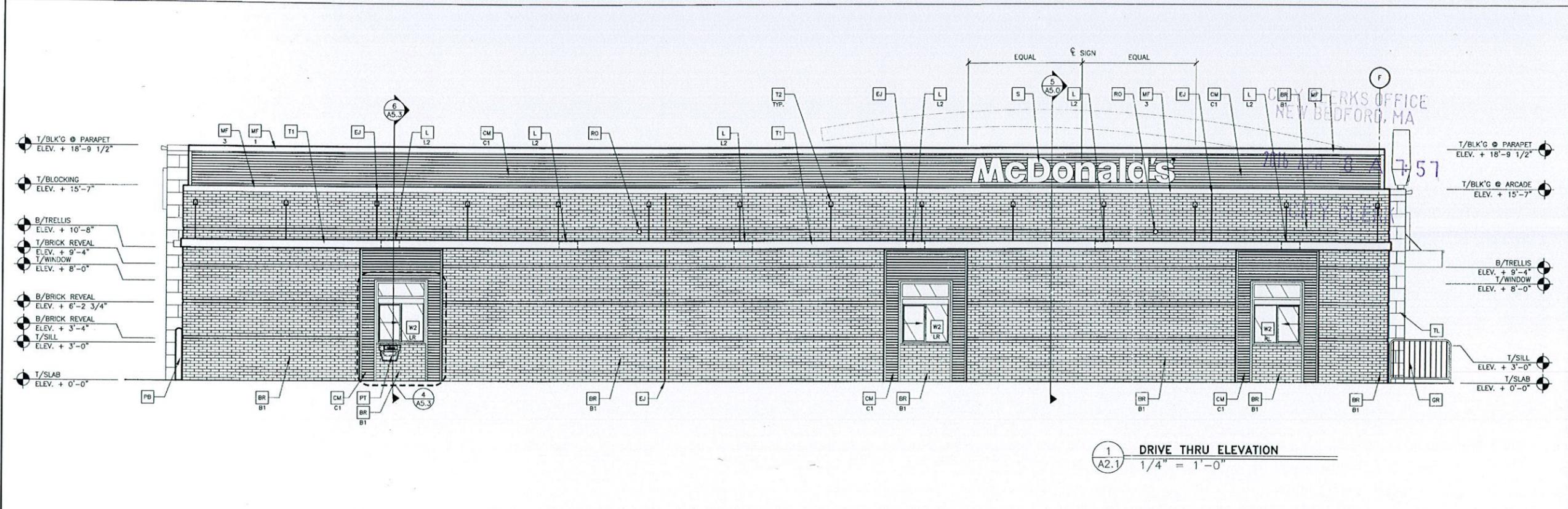
PREPARED BY:
McDonald's USA, LLC
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TITLE	2015 STANDARD BUILDING	020-0128.00.0
NO.	4597-PP-WOOD/WOOD	A2.0
DESCRIPTION	WOOD BEARING WALLS W/4" BRICK EXTERIOR FINISH & CL WOOD ROOF TRUSS FRAMING WOOD ROOF TRUSS FRAMING WOOD ROOF TRUSS FRAMING WOOD ROOF TRUSS FRAMING	
DATE	2/25/2015	
SCALE	AS SHOWN	
PROJECT #	020-0128	
LOCATION	1080 KINGS HIGHWAY NEW BEDFORD, MA	

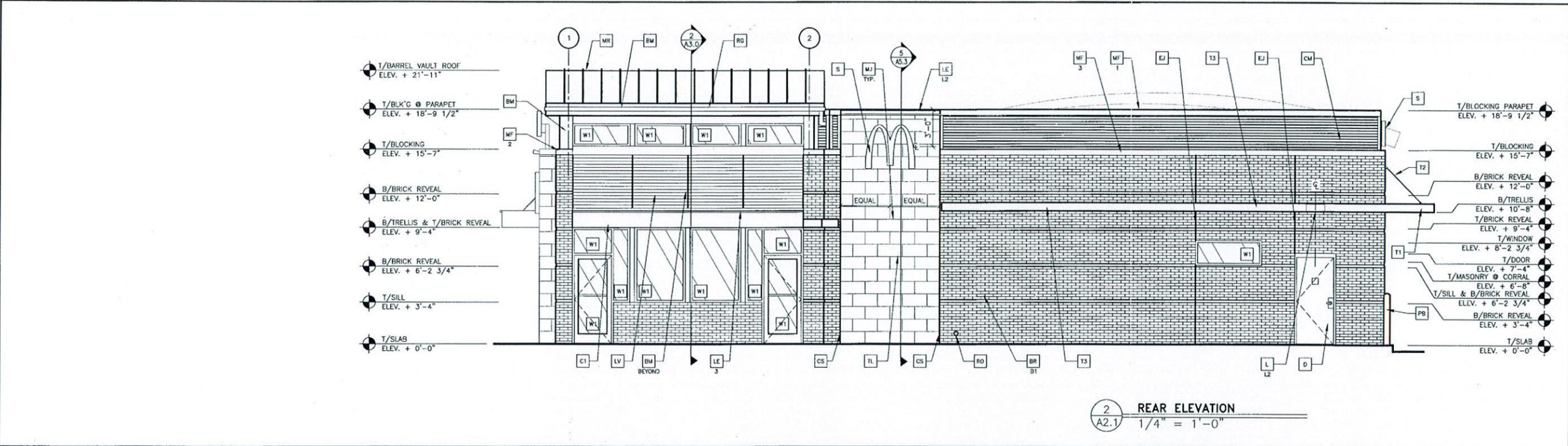
PLANNING
APR 08 2015
DEPARTMENT

K:\DVA\EA\1 - BOS\020-0159-00-0 FALL RIVER, MA\020-0159-00-2\A-ELEV.DWG. 10-19-2012 09:06

K:\DM\EA\ST- BOS\020-0159-00-0 FALL RIVER, MA\020-0159-00-2\A-ELEV.DWG 10-19-2012 09:06



1 DRIVE THRU ELEVATION
A2.1 1/4" = 1'-0"



2 REAR ELEVATION
A2.1 1/4" = 1'-0"

KEY NOTES:

- BM BREAK METAL
COLOR = CITYSCAPE BY METAL-ERA
- BR FACEBRICK
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- C3 ALUMINUM CANOPY SYSTEM
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C1-COLOR:
C1="CITYSCAPE" BY METAL-ERA

- CS OUTSIDE CORNER STRIP, BY SCHLUTER - SEE TILE PACKAGE AND GENERAL NOTES FOR ADDITIONAL INFORMATION
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- LE ACCENT LIGHTING - SEE ELECTRICAL
L1-LED LIGHT:
L1 = UP AND DOWN FIXTURE
L2 = DOWN ONLY FIXTURE
L3 = INTEGRAL CANOPY FIXTURE
L4 = UP ONLY FIXTURE
- LV METAL LOUVER PANEL
- MJ MOVEMENT JOINT - (SCHLUTER-DILEX PRODUCT #8WB100H-B)

- ML METAL LETTERING - BY OTHERS
- MF METAL FASCIA - COLOR TO MATCH CORRUGATED METAL PANEL - SEE 1/A5.0
1-TYPE:
1 = PRE-FAB ANCHOR-TITE FASCIA
2 = PRE-FAB CUSTOM ARCADE FASCIA
3 = PRE-FAB MASONRY CAP FASCIA
- MR METAL ROOF - STANDING SEAM W/ALUMINUM FINISH FASCIA TRIM, COLOR TO BE "YELLOW - PANTONE COLOR #109U"
- PB PIPE BOLLARD - PAINTED YELLOW

- PT (RMHC) COIN COLLECTOR UNIT #WPF D7200 STD CALL 1-888-743-7435 TO ORDER
- RE ROOF CAP ELEMENT BY OTHERS
- RO CONTINUOUS RAIN GUTTERS AT BARREL VAULT ROOF COLOR TO MATCH ROOF
- RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
- S METAL ROOF - STANDING SEAM W/ALUMINUM FINISH FASCIA TRIM, COLOR TO BE "YELLOW - PANTONE COLOR #109U"
- S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.
- T1 ALUMINUM TRELLIS SYSTEM

- T2 TRELLIS TIE-BACK SYSTEM
- T3 ALUMINUM TRELLIS 2" x 8" WALL FASCIA SYSTEM - REFER TO SIM DETAIL 3 ON SHEET A5.1
- TL BRUSH STROKE TILE (RIS U.S.) BY EUROWEST DECORATIVE SURFACES COLOR: OYSTER CONTACT: JAK DETER 714.937.7500
- W1 EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS - SEE ASSEMBLY NOTES
- W2 DRIVE-THRU WINDOW BY READY ACCESS 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM - MANUAL OPEN, ELECTRONIC RELEASE
- XX SLIDE DIRECTION: RL = RIGHT TO LEFT
LR = LEFT TO RIGHT

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<p>TITLE: 2015 STANDARD BUILDING 4597-PP-WOOD/WOOD</p>		<p>PROJECT: WOOD BEARING WALLS W/AC BRICK EXTERIOR FINISH & C.I. WOOD ROOF TRUSS FRAMING OVER THE SITE ADDRESS: WEST ARCADE/ENTRY SITE ADDRESS: WEST ARCADE/ENTRY NEW BEDFORD, MA 020-0128 1080 KINGS HIGHWAY</p>	
REV	DATE	DESCRIPTION	BY

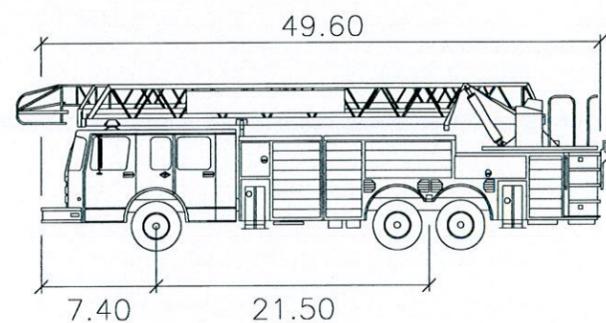
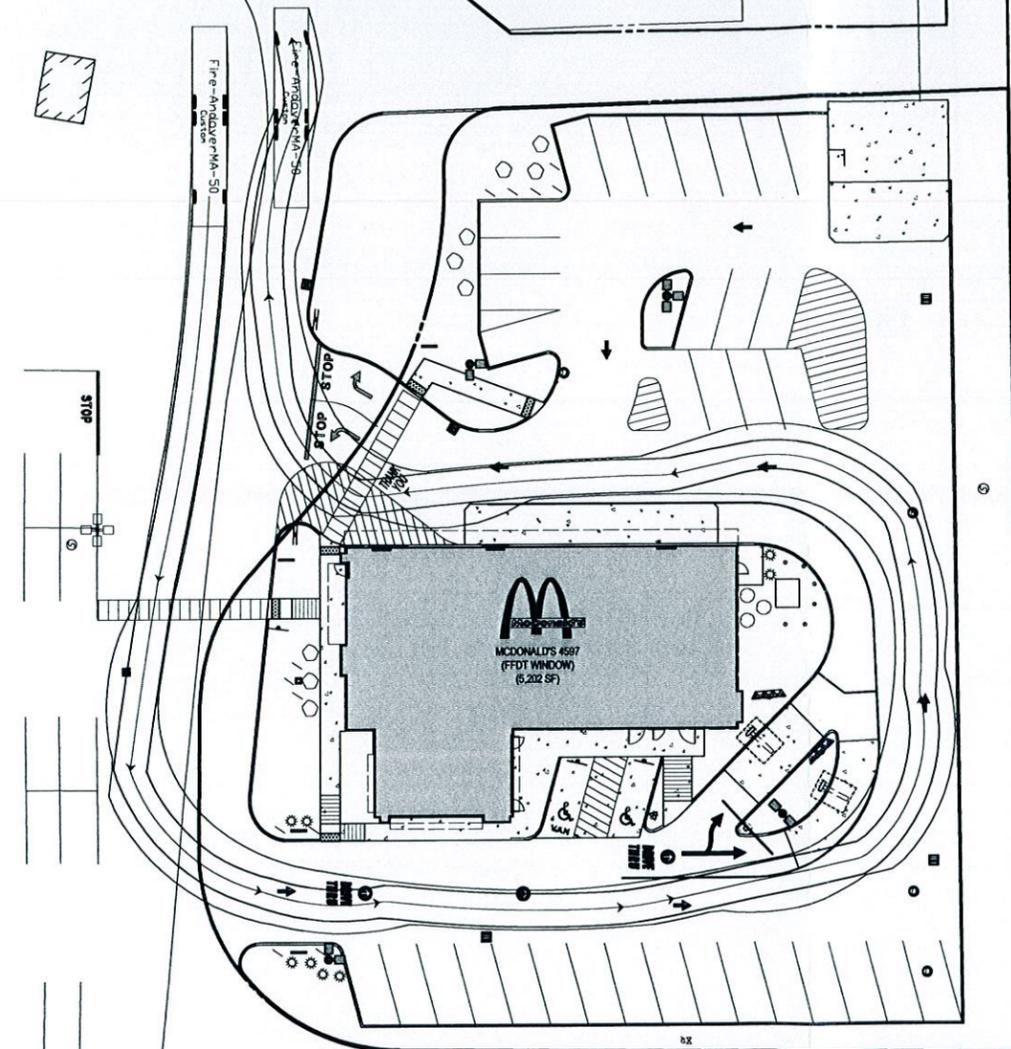
PLANNING
APR 08 2016
DEPARTMENT

Case 13-16 +14-16



KINGS HIGHWAY
 (1988 STATE HIGHWAY LAYOUT)
 (PUBLIC WIDTH VARIES)
 (NO ACCESS)

CITY CLERKS OFFICE
 NEW BEDFORD, MA
 2016 APR -8 A 8:07
 CITY CLERK



Fire-50 feet
 Width : 8.50
 Track : 8.25
 Lock to Lock Time : 6.0
 Steering Angle : 33.0

BOHLER ENGINEERING
 352 TURNPIKE ROAD
 SOUTHBOROUGH, MA 01772
 Phone: (508) 480-9900
 Fax: (508) 480-9080
 www.BohlerEngineering.com

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 PROJECT MANAGERS
 ENVIRONMENTAL CONSULTANTS
 LANDSCAPE ARCHITECTS

OFFICES:
 # HARRISBURG, PA
 # UPLAND, CA
 # BOSTON, MA
 # NEW YORK, NY
 # PHILADELPHIA, PA
 # PITTSBURGH, PA
 # SOUTH EASTON, MA
 # BALTIMORE, MD
 # SOUTH MARYLAND
 # WASHINGTON, DC
 # CHARLOTTE, NC
 # RALEIGH, NC

CONSTRUCTION CHECK	DATE
CONSTRUCTION CHECK	DATE
PROJECT No.:	W142005
CAD I.D. #:	W142005ss4.dwg

STREET ADDRESS	
1080 KINGS HIGHWAY	
CITY	STATE
NEW BEDFORD	MASSACHUSETTS
COUNTY	
BRISTOL COUNTY	
SITE ID #	PLAN DESCRIPTION
020-0128	FIRE TRUCK CIRCULATIO

REV	DATE	DESCRIPTION
1	9/15/15	GRADING AND DRAINAGE REVISIONS
2	9/28/15	REVISIONS PER PEER REVIEW COMMENT
3	10/5/15	REVISIONS PER PEER REVIEW COMMENT
4	01/21/16	REVISIONS PER PLAYPLACE ADDITION

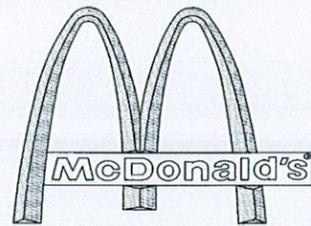
J.A. KUCICH
 PROFESSIONAL ENGINEER
 MASSACHUSETTS LICENSE NO. 1188
 CONNECTICUT LICENSE NO. 3617
 RHODE ISLAND LICENSE NO. 3618
 NEW HAMPSHIRE LICENSE NO. 1563

McDonald's
 THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.
 OFFICE ADDRESS: 690 CANTON STREET, WESTWOOD, MA

PLAN APPROVALS	DATE
SIGNATURE	DATE
APPROVED MCDONALD'S AGENT	DATE
STATUS	DATE
BY	DATE
DRAWN BY:	DATE
EGD	DATE
PLANNING DEPARTMENT	DATE
AS-BUILT	DATE
SHEET NO.	DATE
1	DATE

SITE DEVELOPMENT PLANS

FOR:
PROPOSED



WITH DRIVE-THRU

LOCATION OF SITE:

1080 KINGS HIGHWAY, CITY OF NEW BEDFORD
BRISTOL COUNTY, MASSACHUSETTS
MAP 125, LOT 29, BK 8820, PG 194

CITY CLERKS OFFICE
NEW BEDFORD, MA

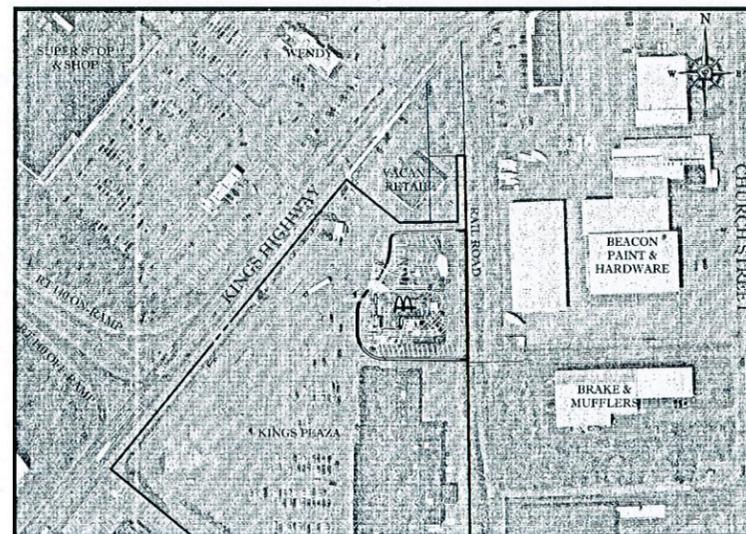
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CITY CLERK



LOCATION MAP

SCALE: 1"=1000'
PLAN REFERENCE: USGS NEW BEDFORD NORTH QUADRANGLE



AREA PLAN

SCALE: 1"=150'

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-1 OF 15
GENERAL NOTES SHEET	C-2 OF 15
DEMOLITION PLAN	C-3 OF 15
OVERALL SITE PLAN	C-4 OF 15
SITE PLAN	C-5 OF 15
GRADING & DRAINAGE PLAN	C-6 OF 15
UTILITY PLAN	C-7 OF 15
SOIL EROSION & SEDIMENT CONTROL PLAN	C-8 OF 15
SOIL EROSION CONTROL NOTES & DETAILS SHEET	C-9 OF 15
LANDSCAPE PLAN	C-10 OF 15
LANDSCAPE NOTES & DETAILS SHEET	C-11 OF 15
LIGHTING PLAN	C-12 OF 15
DETAIL SHEET	C-13 OF 15
DETAIL SHEET	C-14 OF 15
DETAIL SHEET	C-15 OF 15
ALTA/ACSM LAND TITLE SURVEY (BY OTHERS)	1 OF 2
ALTA/ACSM LAND TITLE SURVEY (BY OTHERS)	2 OF 2
BUILDING ELEVATIONS (BY OTHERS)	
BUILDING FLOOR PLAN (BY OTHERS)	

SHEET INDEX

OWNER:

CEDAR-KINGS, LLC
C/O CEDAR REALTY TRUST, INC.
44 SOUTH BAYLES AVENUE, SITE 304

APPLICANT:

McDONALD'S USA, LLC
C/O BOHLER ENGINEERING
352 TURNPIKE ROAD
SOUTH-BOROUGH, MA 01772

GENERAL NOTES:

- BASES, ANCHOR BOLTS, CONDUIT, AND WIRING FOR ALL OTHER SIGNS ARE BY THE GENERAL CONTRACTOR.
- 3/4" EMPTY CONDUIT TO LOCATIONS SHOWN AT THE LOT PERIMETER FOR LOT LIGHTING IS BY THE GENERAL CONTRACTOR. LIGHTING FIXTURES, BASES, POLES, CONDUIT, AND WIRING ARE BY THE OWNER/OPERATOR.
- BASES FOR FLAGPOLES ARE BY THE GENERAL CONTRACTOR. ANCHOR BOLTS ARE BY THE FLAGPOLE SUPPLIER.
- PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL INSTALLATION.
- THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING.
- ALL ELEVATIONS SHOWN ARE BASED UPON NAVD 88 PER SURVEY NOTE #7.
- ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF ALL WALKS AND CURBS. FINISH GRADING, LANDSCAPING, AND SPRINKLER SYSTEMS ARE BY THE OWNER/OPERATOR.
- LOT LIGHTING CONCRETE FOOTINGS TO CONFORM WITH THE SOILS REPORT RECOMMENDATIONS FOR THIS PARTICULAR SITE. FOUNDATION DESIGN AND CONSTRUCTION IS BY THE GENERAL CONTRACTOR.

PAVING SPECIFICATION
(SEE PAVEMENT DETAILS)

FLEXIBLE PAVEMENT SECTION:
1.5" M.04.02 CLASS 2 TOP COURSE
1.5" M.04.02 CLASS 1 BASE COURSE
12.0" M.02.06 TYPE C PROCESSED GRAVEL SUBBASE

RIGID PAVEMENT SECTION:
6.0" 4500 PSI AIR-ENTRAINED CONCRETE
8.0" 4500 PSI AIR-ENTRAINED CONCRETE AT TRASH ENCLOSURE
12.0" M.02.06 TYPE C PROCESSED GRAVEL SUBBASE

NOTE: FINAL PAVEMENT SPECIFICATIONS TO BE COORDINATED WITH GEOTECHNICAL REPORT RECOMMENDATIONS. McDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF McDONALD'S, OTHERWISE, G.C. WILL BE CHARGED.

LOT LIGHTING SUPPLIED BY

SECURITY LIGHTING SYSTEMS
1065 JOHNSON DRIVE
BUFFALO GROVE, IL 60089
(800) 544-4848

NOTE: ELECTRICAL CONTRACTOR TO CIRCUIT LOT LIGHTING AS NOTED.

PARKING INFORMATION

TOTAL SPACES	PROPOSED SPACES	8'0" x 20'0" @ 75°	8'0" x 20'0" @ 90°
35	30	3	2
	2	PROPOSED HAND CAPPED SPACES	8'0" x 20'0" @ 75°

UTILITY INFORMATION

	SIZE	TYPE	LOCATION
SANITARY SEWER	6" x 36"	PVC & RCP	ON-SITE
WATER	4" x 10"	DI	ON-SITE
STORM SEWER	N/A	N/A	N/A
ELECTRIC	TBD	TBD	ON-SITE
GAS	TBD	TBD	ON-SITE

SURVEY INFORMATION

PREPARED BY: CONTROL POINT ASSOCIATES, INC.
352 TURNPIKE ROAD
SOUTH-BOROUGH, MA 01772
JOB # CM14215
DATE: NOVEMBER 24, 2014
REVISED: MAY 14, 2015

EXISTING CONDITIONS LEGEND

- 124 --- EXISTING CONTOUR
- 125 --- EXISTING SPOT ELEVATION
- ⊗ HYDRANT
- ⊕ WATER VALVE
- OH OVERHEAD WIRES
- - - APPROX LOC. UNDERGROUND ELEC. LINE
- - - APPROX LOC. UNDERGROUND TELE. LINE
- - - APPROX LOC. UNDERGROUND WATER LINE
- U UTILITY POLE
- U UTILITY POLE LIGHT POLE
- GUY WIRE
- SIGN
- BOLLARD
- AREA LIGHT
- ☎ PAY PHONE
- ▶ PAINTED ARROWS
- ⚠ PARKING SPACE COUNT
- RAILROAD TIE WALL

STREET ADDRESS
1080 KINGS HIGHWAY

CITY
NEW BEDFORD

STATE
MASSACHUSETTS

COUNTY
BRISTOL COUNTY

SITE ID #

020-0128

PLAN DESCRIPTION

COVER SHEET

SHEET NO.

C-1
OF 15

DATE
8/12/15

BY
EGD

DATE
8/12/15

BY
JAK

GENERAL NOTES

CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE NOTES AND SPECIFICATIONS CONTAINED HEREIN. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL SUBCONTRACTORS FULLY AND COMPLETELY CONFORM TO AND COMPLY WITH THESE REQUIREMENTS.

- 1. THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS SITE PLAN:
- "ALTA/CSM LAND TITLE SURVEY", PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED 11/24/14, REVISED THRU 05/14/15
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST VERIFY THAT THESE HAS THE LATEST EDITION OF THE DOCUMENTS REFERENCED ABOVE. THIS IS CONTRACTOR'S RESPONSIBILITY.
2. ALL ACCESSIBLE (ADA) ADA PARKING SPACES MUST BE CONSTRUCTED TO MEET AT A MINIMUM, THE MORE STRINGENT OF THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA) CODE OF FEDERAL REGULATIONS (42 U.S.C. § 12101 et seq. AND 42 U.S.C. § 4151 et seq.) OR THE REQUIREMENTS OF THE JURISDICTION WHERE THE PROJECT IS TO BE CONSTRUCTED, AND ANY ALL AMENDMENTS TO BOTH WHICH ARE IN EFFECT WHEN THESE PLANS ARE COMPLETED.
3. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE COMMENTS TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES AND COMPLETED THAT ALL NECESSARY OR REQUIRED PERMITS HAVE BEEN OBTAINED. CONTRACTOR MUST HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES.
4. THE OWNER/CONTRACTOR MUST BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
5. ALL WORK MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND CONDITIONS OF APPROVAL, AND ALL APPLICABLE REQUIREMENTS, RULES, REGULATIONS, STATUTORY REQUIREMENTS, CODES, LAWS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES WITH JURISDICTION OVER THIS PROJECT.
6. THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH HEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND, IN CASE OF CONFLICT, DISCREPANCY OR AMBIGUITY, THE MORE STRINGENT REQUIREMENTS AND/OR RECOMMENDATIONS CONTAINED IN THE PLANS AND THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR MUST NOTIFY THE ENGINEER IN WRITING OF ANY SUCH CONFLICT, DISCREPANCY OR AMBIGUITY BETWEEN THE GEOTECHNICAL REPORTS AND PLANS AND SPECIFICATIONS PRIOR TO PROCEEDING WITH ANY FURTHER WORK.
7. THESE PLANS ARE BASED ON INFORMATION PROVIDED TO BOHLER ENGINEERING BY THE OWNER AND OTHERS PRIOR TO THE TIME OF PLAN PREPARATION. CONTRACTOR MUST FIELD VERIFY EXISTING CONDITIONS AND NOTIFY BOHLER ENGINEERING IN WRITING, IMMEDIATELY IF ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES.
8. ALL DIMENSIONS SHOWN ON THE PLANS MUST BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR MUST NOTIFY ENGINEER IN WRITING, IF ANY CONFLICTS, DISCREPANCIES OR AMBIGUITIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR WORK WHICH IS NOT TO BE DONE OR REPAIRED DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS PRIOR TO CONTRACTOR GIVING ENGINEER WRITTEN NOTIFICATION OF SAME AND ENGINEER THEREAFTER, PROVIDING CONTRACTOR WITH WRITTEN AUTHORIZATION TO PROCEED WITH SUCH ADDITIONAL WORK.
9. CONTRACTOR MUST REFER TO THE ARCHITECTURAL/BUILDING PLANS "OF RECORD" FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY LOCATIONS.
10. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST COORDINATE THE BUILDING LAYOUT BY CAREFUL REVIEW OF THE ENTIRE SITE PLAN AND THE LATEST ARCHITECTURAL PLANS (INCLUDING, BUT NOT LIMITED TO, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLAN, WHERE APPLICABLE). CONTRACTOR MUST IMMEDIATELY NOTIFY OWNER, ARCHITECT AND SITE ENGINEER IN WRITING, OF ANY CONFLICTS, DISCREPANCIES OR AMBIGUITIES WHICH EXIST.
11. DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE AND ALL UNSUITABLE EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ANY AND ALL GOVERNMENTAL AUTHORITIES WHICH HAVE JURISDICTION OVER THIS PROJECT OR OVER CONSTRUCTION.
12. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING WHEN SHORING IS REQUIRED AND FOR INSTALLING ALL SHORING REQUIRED DURING EXCAVATION TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT, NEARBY AND CONTIGUOUS STRUCTURES AND PROPERTIES.
13. THE CONTRACTOR IS TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. WHICH ARE TO REMAIN EITHER FOR AN INTENT, PARTIAL OR COMPLETE REMOVAL. CONTRACTOR IS RESPONSIBLE FOR TAKING ALL APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT, UTILITIES, WALLS, AND INFRASTRUCTURE WHICH ARE TO REMAIN, AND TO PROVIDE A SAFE WORK AREA FOR THIRD PARTIES, PEDESTRIANS AND ANYONE INVOLVED WITH THE PROJECT.
14. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION INCLUDING BUT NOT LIMITED TO: DRAINAGE UTILITIES, PAVEMENT, STRIPING, CURB, ETC. AND SHALL BEAR ALL COSTS ASSOCIATED WITH SAME TO INCLUDE, BUT NOT BE LIMITED TO, REPAIRS, RESURFACING, REPERMITTING AND CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR AND MUST REPLACE ALL SIGNAL, INTERSECTION CABLE, WIRING CONDUITS AND CABLES DURING CONSTRUCTION AND MUST BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY MUST RESTORE SUCH CONSTRUCTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE CONDITIONS PRIOR TO COMMENCEMENT OF THE CONSTRUCTION, AND IN CONFORMANCE WITH APPLICABLE CODES, LAWS, RULES, REGULATIONS, STATUTORY REQUIREMENTS AND STATUTES. CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH SAME. CONTRACTOR IS RESPONSIBLE TO LOCATE ALL EXISTING DAMAGE AND TO NOTIFY THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION.
15. ALL CONCRETE MUST BE AIR ENTRAINED AND HAVE THE MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT.
16. THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS, MEANS, TECHNIQUES OR PROCEDURES, GENERALLY OR FOR THE CONSTRUCTION MEAN, METHODS, TECHNIQUES OR PROCEDURES FOR COMPLETION OF THE WORK DEPICTED BOTH ON THESE PLANS, AND FOR ANY CONFLICTS/SUBSEQUENT REVISIONS WHICH RESULT FROM SAME. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE BEST METHODS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
17. THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY. THE ENGINEER OF RECORD HAS NOT BEEN RETAINED TO PERFORM OR BE RESPONSIBLE FOR JOB SITE SAFETY. SAVE BEING WHOLLY OUTSIDE OF ENGINEER'S SERVICES AS RELATED TO THE PROJECT, THE ENGINEER OF RECORD IS NOT RESPONSIBLE TO IDENTIFY OR REPORT ANY JOB SITE SAFETY ISSUES AT ANY TIME.
18. ALL CONTRACTORS MUST CARRY THE SPECIFIED STATUTORY WORKERS COMPENSATION INSURANCE, EMPLOYER'S LIABILITY INSURANCE AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE. ALL CONTRACTORS MUST HAVE THEIR CO. POLICIES ENDORSED TO NAME BOHLER ENGINEERING AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES AND RELATED ENTITIES AND ITS SUBCONTRACTORS AND CONSULTANTS AS ADDITIONAL NAMED INSURED AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE. CONTRACTOR MUST INSURE THAT THIS HOLD HARMLESS AND INDEMNIFY OBLIGATIONS ASSIGNED BY THE CONTRACTORS. ALL CONTRACTORS MUST FURNISH BOHLER ENGINEERING WITH CERTIFICATES OF BONDING FOR EACH POLICY OF THE REQUIRED MINIMUM FROM THE COMMENCEMENT OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION AND FOR ONE YEAR AFTER THE COMPLETION OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, INDEMNIFY, DEFEND AND HOLD HARMLESS BOHLER ENGINEERING AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES AND RELATED ENTITIES AND ITS SUBCONTRACTORS AND CONSULTANTS FROM AND AGAINST ANY DAMAGES, INJURIES, CLAIMS, ACTIONS, PENALTIES, EXPENSES, PUNITIVE DAMAGES, TORT DAMAGES, STATUTORY CLAIMS, CAUSES OF ACTION, LOSSES, DAMAGES OR COSTS, INCLUDING, BUT NOT LIMITED TO, REASONABLE ATTORNEY'S FEES AND COSTS OF LITIGATION AND OF OR IN ANY WAY CONNECTED WITH THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS, ALL CLAIMS BY THIRD PARTIES AND ALL CLAIMS RELATED TO THE PROJECT. CONTRACTOR MUST NOTIFY ENGINEER IN WRITING AT LEAST THIRTY (30) DAYS PRIOR TO ANY TERMINATION, SUSPENSION OR CHANGE OF ITS INSURANCE HEREUNDER.
19. BOHLER ENGINEERING WILL REVIEW OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONTRACTOR'S CONSTRUCTION MEANS AND METHODS AND/OR TECHNIQUES OR PROCEDURES, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND BOHLER HAS NO RESPONSIBILITY OR LIABILITY FOR SAME. BOHLER ENGINEERING'S SHOP DRAWING REVIEW WILL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO CORRECT ANY DEFICIENCIES. REVIEW OF A SPECIFIC ITEM MUST NOT INDICATE THAT BOHLER ENGINEERING HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. BOHLER ENGINEERING WILL NOT BE RESPONSIBLE FOR ANY DEFICIENCIES OF THE CONSTRUCTION DOCUMENTS NOT PROMPTLY AND IMMEDIATELY BROUGHT TO ITS ATTENTION, IN WRITING, BY THE CONTRACTOR. BOHLER ENGINEERING WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.
20. NEITHER THE PROFESSIONAL ACTIVITIES OF BOHLER ENGINEERING NOR THE PRESENCE OF BOHLER ENGINEERING AND/OR ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND CONSULTANTS AT A CONSTRUCTION PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, OVERSEEING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND COMPLYING ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES WITH JURISDICTION OVER THE PROJECT AND/OR PROPERTY. BOHLER ENGINEERING AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION, CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY. BOHLER ENGINEERING SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND MUST BE AWARDED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTORS POLICIES OF GENERAL LIABILITY INSURANCE AS DESCRIBED ABOVE IN THE CONTRACTOR SITE SAFETY.
21. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE WRITTEN AUTHORIZATION OF THE ENGINEER FOR SUCH DEVIATIONS, THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND, FURTHER, SHALL DEFEND, INDEMNIFY AND HOLD HARMLESS THE ENGINEER, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, IN ACCORDANCE WITH PARAGRAPH 18 HEREIN, FOR AND FROM ALL FEES, ATTORNEY'S FEES, DAMAGES, COSTS, JUDGMENTS, PENALTIES AND LOSSES RELATED TO SAME.
22. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND PROTECTION OF TRAFFIC PLAN FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL, EITHER IN THE R.O.W. OR ON SITE. THE COST FOR THIS REVIEW MUST BE INCLUDED IN THE CONTRACTORS PRICE.
23. ALL SIGNING AND PAVEMENT STRIPING MUST CONFORM TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES OR LOCALLY ADOPTED SUPPLEMENT.
24. ENGINEER IS NOT RESPONSIBLE FOR ANY INJURY OR DAMAGES RESULTING FROM CONTRACTOR FAILURE TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH THE APPROVED PLANS. IF CONTRACTOR AND/OR OWNER FAIL TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH APPROVED PLANS, THEY AGREE TO JOINTLY AND SEVERALLY INDEMNIFY AND HOLD HARMLESS BOHLER ENGINEERING FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.
25. OWNER MUST MAINTAIN AND PRESERVE ALL PHYSICAL SITE FEATURES AND DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS. IN STRICT ACCORDANCE WITH THE APPROVED PLANS, NO DESIGN OR FURTHER ENGINEER IS NOT RESPONSIBLE FOR ANY FAILURE TO SO MAINTAIN OR PRESERVE SITE AND/OR DESIGN FEATURES. IF OWNER FAILS TO MAINTAIN AND/OR PRESERVE ALL PHYSICAL SITE FEATURES AND/OR DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, OWNER AGREES TO INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.
26. ALL DIMENSIONS MUST BE TO FACE OF CURB, EDGE OF PAVEMENT, OR EDGE OF BUILDING, UNLESS NOTED OTHERWISE.
27. CONTRACTOR AND MATERIALS MUST COMPLY WITH AND CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, LAWS, ORDINANCES, RULES AND CODES AND ALL APPLICABLE OSHA REQUIREMENTS.
28. CONTRACTOR MUST INSTALL ALL ELEMENTS AND COMPONENTS IN STRICT COMPLIANCE WITH AND ACCORDANCE WITH MANUFACTURERS STANDARDS AND RECOMMENDED INSTALLATION CRITERIA AND SPECIFICATIONS. IF CONTRACTOR AND/OR OWNER FAIL TO DO SO, THEY AGREE TO JOINTLY AND SEVERALLY INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.
29. CONTRACTOR IS RESPONSIBLE TO MAINTAIN ON SITE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH EPA REQUIREMENTS FOR SITES WHERE ONE (1) ACRE OR MORE UNLESS THE LOCAL JURISDICTION REQUIRES FEWER. IF DISTURBED BY CONSTRUCTION ACTIVITIES, CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL ACTIVITIES, INCLUDING ALL SUBCONTRACTORS, ARE IN COMPLIANCE WITH THE SWPPP, INCLUDING BUT NOT LIMITED TO LOGGING ACTIVITIES (MINIMUM ONCE PER WEEK AND AFTER RAINFALL EVENTS) AND CORRECTIVE MEASURES, AS APPROPRIATE.
30. AS CONTAINED IN THESE DRAWINGS AND ASSOCIATED APPLICATION DOCUMENTS PREPARED BY THE SIGNATORY PROFESSIONAL ENGINEER, THE USE OF THE WORDS "CERTIFY" OR "CERTIFICATION" CONSTITUTES AN EXPRESSION OF "PROFESSIONAL OPINION" REGARDING THE INFORMATION WHICH IS THE SUBJECT OF THE UNDERSIGNED PROFESSIONAL KNOWLEDGE OR BELIEF AND IN ACCORDANCE WITH COMMON ACCEPTED PRACTICE CONSISTENT WITH THE APPLICABLE STANDARDS OF PRACTICE, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.

GENERAL GRADING & UTILITY PLAN NOTES

1. LOCATIONS OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE INDEPENDENTLY CONFIRMED WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS MUST BE INDEPENDENTLY CONFIRMED BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES MUST IMMEDIATELY BE REPORTED, IN WRITING, TO THE ENGINEER. CONSTRUCTION MUST COMMENCE BEGINNING AT THE LOWEST INVERT POINT OF CONNECTION AND PROGRESS UPWARD. PROPOSED INTERSECTION POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.

- 2. CONTRACTOR MUST VERTICALLY AND HORIZONTALLY LOCATE ALL UTILITIES AND SERVICES INCLUDING, BUT NOT LIMITED TO, GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE OR WORK SPACE, WHICHEVER IS GREATER. THE CONTRACTOR MUST USE, REFER TO, AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL ANY EXISTING UTILITIES DURING CONSTRUCTION, AT NO COST TO THE OWNER. CONTRACTOR SHALL BEAR ALL COSTS ASSOCIATED WITH DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION.
3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL CONSTRUCTION CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO, ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION AND COMMENCEMENT OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT AND/OR DISCREPANCY BETWEEN THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE OR APPLICABLE CODES, REGULATIONS, LAWS, RULES, STATUTES AND/OR ORDINANCES, IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD, IN WRITING, OF SAID CONFLICT AND/OR DISCREPANCY PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR'S FAILURE TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE CONTRACTOR'S FULL AND COMPLETE ACCEPTANCE OF ALL RESPONSIBILITY TO COMPLETE THE SCOPE OF WORK AS DERIVED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL, REGULATIONS, LAWS, STATUTES, ORDINANCES AND CODES AND, FURTHER, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH SAME.
4. THE CONTRACTOR MUST LOCATE AND CLEARLY AND UNAMBIGUOUSLY DEFINE VERTICALLY AND HORIZONTALLY ALL ACTIVE AND INACTIVE UTILITY AND/OR SERVICE SYSTEMS THAT ARE TO BE REMOVED, OR THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL ACTIVE AND INACTIVE SYSTEMS THAT ARE NOT BEING REMOVED/RELOCATED DURING SITE ACTIVITY.
5. THE CONTRACTOR MUST FAMILIARIZE ITSELF WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AS IDENTIFIED OR REQUIRED FOR THE PROJECT. THE CONTRACTOR MUST PROVIDE THE OWNER WITH WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERNATED AND ABANDONED IN ACCORDANCE WITH THE JURISDICTION AND UTILITY COMPANY REQUIREMENTS AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.
6. THE CONTRACTOR MUST INSTALL ALL STORM SEWER AND SANITARY SEWER COMPONENTS WHICH FUNCTION BY GRAVITY PRIOR TO THE INSTALLATION OF ALL OTHER UTILITIES.
7. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF SITE PLAN DOCUMENTS AND ARCHITECTURAL DESIGN FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS, GREASE TRAP REQUIREMENTS, DETAILS, DOOR ACCESS, AND EXTERIOR GRADING. THE ARCHITECT SHALL DETERMINE THE UTILITY SERVICE SIZES. THE CONTRACTOR MUST COORDINATE INSTALLATION OF UTILITY SERVICES WITH THE INDIVIDUAL COMPANIES, TO AVOID CONFLICTS AND TO ENSURE THAT PROPER DEPTHS ARE ACHIEVED. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT INSTALLATION OF ALL IMPROVEMENTS COMPLIES WITH ALL UTILITY REQUIREMENTS WITH JURISDICTION AND/OR CONTROL OF THE SITE AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. FURTHER, THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE UTILITY RECONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY SERVICE, WHERE A CONFLICT EXISTS BETWEEN THESE SITE PLANS AND THE ARCHITECTURAL PLANS, OR WHERE ARCHITECTURAL, PLANNING UTILITY CONNECTION POINTS DIFFER, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER, IN WRITING, AND PRIOR TO CONSTRUCTION, RESOLVE SAME.
8. WATER SERVICE MATERIALS, BURIAL DEPTH, AND COVER REQUIREMENTS MUST BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTORS PRICE FOR WATER SERVICE MUST INCLUDE ALL FEES, COSTS AND APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE FULL AND COMPLETE WORKING SERVICE. CONTRACTOR MUST CONTACT THE APPLICABLE MUNICIPALITY TO CONFIRM THE PROPER WATER METER AND VAULT, PRIOR TO COMMENCING CONSTRUCTION.
9. ALL NEW UTILITY SERVICES, INCLUDING ELECTRIC, TELEPHONE, CABLE, TV, ETC. ARE TO BE INSTALLED UNDERGROUND. ALL NEW UTILITY SERVICES MUST BE INSTALLED IN ACCORDANCE WITH THE UTILITY SERVICE PROVIDER INSTALLATION SPECIFICATIONS AND STANDARDS.
10. SITE GRADING MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT REFERENCED IN THIS PLAN SHEET. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND REPLACING UNSUITABLE MATERIALS WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT. ALL EXCAVATED OR FILLED AREAS MUST BE PROTECTED AND MAINTAINED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT. MOISTURE CONTENT AT TIME OF PLACEMENT MUST BE SUBMITTED IN A CONTRACTOR REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. SUBGRADE MATERIALS, FILL OR ASPHALT MUST BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBGRADE BE DEFINED UNSUITABLE BY OWNER/DEVELOPER, OR OWNER/DEVELOPER'S REPRESENTATIVE, SUBGRADE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED AS DIRECTED BY THE GEOTECHNICAL REPORT. EARTHWORK ACTIVITIES INCLUDING, BUT NOT LIMITED TO, EXCAVATION, BACKFILL, AND COMPACTING MUST COMPLY WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. EARTHWORK ACTIVITIES MUST COMPLY WITH THE STANDARD STATE DOT SPECIFICATIONS FOR ROADWAY CONSTRUCTION (LATEST EDITION) AND ANY AMENDMENTS OR REVISIONS THERETO.
11. ALL FILL, COMPACTED AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION MUST BE AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND MUST BE FULLY COMPLIANT WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS. WHEN THE PROJECT DOES NOT HAVE GEOTECHNICAL RECOMMENDATIONS, FILL AND COMPACTED MUST, AT A MINIMUM, COMPLY WITH THE STATE DOT REQUIREMENTS AND SPECIFICATIONS AND CONSULTANT SHALL HAVE NO LIABILITY OR RESPONSIBILITY FOR OR AS RELATED TO FILL, COMPACTED AND BACKFILL. FURTHER, CONTRACTOR IS FULLY RESPONSIBLE FOR EARTHWORK BALANCE.
12. THE CONTRACTOR MUST COMPLY TO THE FULLEST EXTENT WITH THE LATEST OSHA STANDARDS AND REGULATIONS AND/OR ANY OTHER AGENCY WITH JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE MEANS AND METHOD REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES AND CONSULTANT SHALL HAVE NO RESPONSIBILITY FOR OR AS RELATED TO OR AS RELATED TO EXCAVATION AND TRENCHING PROCEDURES.
13. PAVEMENT MUST BE SAW CUT IN STRAIGHT LINES, AND EXCEPT FOR EDGE OF BUTT JOINTS, MUST EXTEND TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS MUST BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS WILL NOT BE PERMITTED.
14. THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT TOPS MUST BE ADJUSTED, AS NECESSARY, TO MATCH PROPOSED GRADES IN ACCORDANCE WITH ALL APPLICABLE STANDARDS, REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.
15. DURING THE INSTALLATION OF SANITARY SEWER, STORM SEWER, AND ALL UTILITIES, THE CONTRACTOR MUST MAINTAIN A CONTEMPORANEOUS AND THOROUGH RECORD OF CONSTRUCTION TO IDENTIFY THE AS-INSTALLED LOCATIONS OF ALL UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR MUST CAREFULLY NOTE ANY INSTALLATIONS THAT DEVIATE FROM THE INFORMATION CONTAINED IN THE UTILITY PLAN. THIS RECORD MUST BE KEPT ON A CLEAN COPY OF THE DRAINAGE OR UTILITY PLAN, WHICH CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER AT THE COMPLETION OF WORK.
16. WHEN THE SITE IMPROVEMENT PLANS INVOLVE MULTIPLE BUILDINGS, SOME OF WHICH MAY BE BUILT AT A LATER DATE, THE CONTRACTOR MUST EXTEND ALL LINES, INCLUDING BUT NOT LIMITED TO, STORM SEWER, SANITARY SEWER AND UTILITY LINES, TO A POINT AT LEAST FIVE (5) FEET BEYOND THE PAVED AREAS FOR WHICH THE CONTRACTOR IS RESPONSIBLE. CONTRACTOR MUST CAP ENDS AS APPROPRIATE, MARK LOCATIONS WITH AN "X" AND MUST NOTE THE LOCATION OF ALL OF THE ABOVE ON A CLEAN COPY OF THE DRAINAGE OR UTILITY PLAN, WHICH CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER UPON COMPLETION OF THE WORK.
17. THE CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCING ANY CONSTRUCTION. CONTRACTOR MUST CONFIRM AND ENSURE A 0.7% MINIMUM SLOPE AGAINST ALL ISLANDS, CUTTERS, AND CURBS, 1.0% ON ALL CANTERED SURFACES, AND 1.5% MINIMUM ON ALL SLOPES (EXCEPT WHERE ADOPTED REQUIREMENTS OR EXISTING TOPOGRAPHY MAY BE GREATER). TO PREVENT FLOODING, CONTRACTOR MUST IMMEDIATELY NOTIFY, IN WRITING, TO THE ENGINEER, ANY DISCREPANCIES THAT MAY OR COULD AFFECT THE PUBLIC SAFETY, HEALTH OR GENERAL WELFARE, OR PROJECT COSTS. IF CONTRACTOR PROCEEDS WITH CONSTRUCTION WITHOUT PROVIDING PROPER NOTIFICATION, MUST BE AT THE CONTRACTOR'S OWN RISK AND, FURTHER, CONTRACTOR SHALL INDEMNIFY, DEFEND AND HOLD HARMLESS THE DESIGN ENGINEER FOR ANY DAMAGES, COSTS, INJURIES, ATTORNEY'S FEES AND THE LOSSES WHICH RESULT FROM SAME.
18. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MINIMUM OF 0.5% OUTER GRADE ALONG CURB DURANCE. IT IS CONTRACTOR'S OBLIGATION TO ENSURE THAT DESIGN ENGINEER APPROVES FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION OF SAME. REFER TO THIS SHEET FOR ADDITIONAL NOTES.
19. IN THE EVENT OF DISCREPANCIES AND/OR CONFLICTS BETWEEN PLANS OR RELATIVE TO OTHER PLANS, THE SITE PLAN WILL TAKE PRECEDENCE AND CONTROL. CONTRACTOR MUST IMMEDIATELY NOTIFY THE DESIGN ENGINEER, IN WRITING, OF ANY DISCREPANCIES AND/OR CONFLICTS.
20. CONTRACTOR IS REQUIRED TO SECURE ALL NECESSARY AND/OR REQUIRED PERMITS AND APPROVALS FOR ALL OFF-SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. CONTRACTOR MUST SUPPLY A COPY OF APPROVALS TO ENGINEER AND OWNER PRIOR TO INITIATING WORK ANY WORK.
21. WHERE RETAINING WALLS (WHETHER OR NOT THEY MEET THE JURISDICTIONAL DEFINITION) ARE IDENTIFIED ON PLANS, ELEVATIONS IDENTIFIED ARE FOR THE EXPOSED PORTION OF THE WALL. WALL FOOTINGS FOUND ON ELEVATIONS ARE NOT IDENTIFIED HEREIN AND ARE TO BE SET DETERMINED BY THE CONTRACTOR BASED ON FINAL STRUCTURAL DES ON SHOP DRAWINGS PREPARED BY THE APPROPRIATE PROFESSIONAL LICENSED IN THE STATE WHERE THE CONSTRUCTION OCCURS.
22. STORM DRAINAGE PIPE UNLESS NOT DATED OTHERWISE, ALL STORM SEWER PIPE MUST BE 8" RENOFRIC CONCRETE PIPE (RCP CLASS II) WITH S17 TIGHT JOINTS. WHEN HIGH-DENSITY POLYETHYLENE (HDPE) PIPE IS CALLED FOR ON THE PLANS, IT MUST CONFORM TO ADOPTED MWM AND TYPE 8000 (MINIMUM INTERIOR WITH ANGLER DRAINAGE) WITH S17 TIGHT JOINT. PVC PIPE FOR ROOF DRAIN DRAINAGE MUST BE SDR 26 OR SDR 40 SCHEDULE 40 UNLESS INDICATED OTHERWISE.
23. SANITARY SEWER PIPE MUST BE POLYVINYL CHLORIDE (PVC) SDR 35 EXCEPT WHERE INDICATED OTHERWISE. SANITARY LATERAL MUST BE PVC SDR 35 UNLESS INDICATED, IN WRITING, OTHERWISE.
24. STORM AND SANITARY SEWER PIPE LENGTHS INDICATED ARE NOMINAL AND MEASURED CENTER OF INLET AND/OR MANHOLES STRUCTURE TO CENTER OF STRUCTURE.
25. STORMWATER ROOF DRAIN LOCATIONS ARE BASED ON PRELIMINARY ARCHITECTURAL PLANS. CONTRACTOR IS RESPONSIBLE TO AVOID VERIFYING LOCATIONS OF SAME BASED ON FINAL ARCHITECTURAL PLANS.
26. SEWERS CROSSING STREAMS AND/OR LOCATIONS WITHIN 10 FEET OF THE STREAM EMBANKMENT, OR WHERE SITE CONDITIONS SO INDICATE, MUST BE CONSTRUCTED OF STEEL REINFORCED CONCRETE DUCTILE IRON OR OTHER SUITABLE MATERIAL.
27. SEWERS CONVEYING SANITARY FLOW, COMBINED SANITARY AND STORMWATER FLOW OR INDUSTRIAL FLOW MUST BE SEPARATED FROM WATER MAINS BY A STANCE OF AT LEAST 10 FEET HORIZONTALLY IF SUCH LATERAL SEPARATION IS NOT POSSIBLE. THE PIPES MUST BE IN SEPARATE TRENCHES WITH THE SEWER AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN, OR SUCH OTHER SEPARATION AS APPROVED BY THE GOVERNMENT AGENCY WITH JURISDICTION OVER SAME.
28. WHERE APPROPRIATE SEPARATION FROM A WATER MAIN IS NOT POSSIBLE, THE SEWER MUST BE ENCASED IN CONCRETE, OR CONSTRUCTED OF DUCTILE IRON PIPE USING MECHANICAL OR BULP-ON JOINTS FOR A DISTANCE OF AT LEAST 10 FEET ON EITHER SIDE OF THE CROSSING. IN ADDITION, THE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE WATER LINE AS POSSIBLE, WHERE A WATER MAIN CROSSING UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT FOR THE SEWER MUST BE PROVIDED.
29. WATER MAIN PIPING MUST BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE LOCAL WATER PURVEYOR. IN THE ABSENCE OF SUCH REQUIREMENTS, WATER MAIN PIPING MUST BE GENERAL-INDUSTRIAL DUCTILE IRON (DIP) MINIMUM CLASS 52 THICKNESS. ALL PIPE AND APPURTENANCES MUST COMPLY WITH THE APPLICABLE AWWA STANDARDS IN EFFECT AT THE TIME OF APPLICATION.
30. CONTRACTOR MUST ENSURE THAT ALL UTILITY TRENCHES LOCATED IN EXISTING PAVED ROADWAYS INCLUDING SEWER, WATER AND STORM SYSTEMS, MUST BE REPAIRED IN ACCORDANCE WITH REFERENCED MUNICIPAL, COUNTY AND/OR DOT DETAILS AS APPLICABLE. CONTRACTOR MUST COORDINATE INSPECTION AND APPROVAL OF COMPLETED WORK WITH THE AGENCY WITH JURISDICTION OVER SAME.
31. WHERE BASEMENTS ARE TO BE PROVIDED FOR PROPOSED DWELLING UNITS, THE DEVELOPER SHALL, BY BORING OR BY TEST PIT, DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED DWELLINGS, WHERE GROUNDWATER IS ENCOUNTERED IN THE BASEMENT AREA, BASEMENTS WILL NOT BE INSTALLED UNLESS SPECIAL CONSTRUCTION METHODS ARE UTILIZED TO BE REVIEWED AND APPROVED BY THE MUNICIPAL CONSTRUCTION CODES OFFICIAL. IF AND WHERE SUMP PUMPS ARE INSTALLED, ALL DISCHARGES MUST BE CONNECTED TO THE STORM SEWER. A CLEANOUT MUST BE PROVIDED PRIOR TO THE CONNECTION TO THE BASEMENT DRAIN IN ORDER THAT THE BLOWOUTS CAN BE MADE.
32. FOR SINGLE AND TWO-FAMILY RESIDENTIAL PROJECTS, WHERE THE PROPOSED DWELLING AND ADJACENT SPOT ELEVATIONS ARE SO METRIC FOR GENERIC BUILDING FOOTPRINT, GRADES MUST BE ADJUSTED BASED ON FINAL ARCHITECTURAL PLANS TO PROVIDE A MINIMUM OF SIX (6) INCHES BELOW OR SIX (6) INCHES BELOW GROUND, WHICHEVER IS LOWEST, AND MUST PROVIDE POSITIVE DRAINAGE (2% MIN.) AWAY FROM DWELLING. ALL CONSTRUCTION, INCLUDING GRADING, MUST COMPLY WITH THE LATEST LOCAL AND STATE BUILDING CODE AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.
33. LOCATION OF PROPOSED UTILITY POLE LOCATION IS AT THE SOLE DISCRETION OF UTILITY COMPANY.
34. CONSULTANT IS NEITHER LIABLE NOR RESPONSIBLE FOR ANY SUBSURFACE CONDITION AND, FURTHER, SHALL HAVE NO LIABILITY FOR ANY HAZARDOUS MATERIALS, HAZARDOUS SUBSTANCES, OR POLLUTANTS ON, ABOUT OR UNDER THE PROPERTY.

GENERAL DEMOLITION NOTES

1. THIS PLAN REFERENCES DOCUMENTS AND INFORMATION BY:
- ALTA/CSM LAND TITLE SURVEY
- 100' X 100' GRIDWAY NEW BEDFORD, MA
- PREPARED BY CONTROL POINT ASSOCIATES, INC.
- SOUTH BOROUGHS, MA
- 11/24/14 REVISED THRU 05/14/15
- JOB# CM-4215

- 2. CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 (29 U.S.C. 601 et seq.), AS AMENDED AND ANY MODIFICATIONS, AMENDMENTS OR REVISIONS TO SAME.
3. BOHLER ENGINEERING HAS NO CONTRACTUAL, LEGAL, OR OTHER RESPONSIBILITY FOR JOB SITE SAFETY OR JOB SITE SUPERVISION, OR ANYTHING RELATED TO SAME.
4. THE DEMOLITION PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION ONLY, REGARDING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR MUST ALSO REVIEW THE OTHER SITE PLAN DOCUMENTS AND INCLUDE IN DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.
5. CONTRACTOR MUST RAISE ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS OR SPECIFICATIONS, CONCERNING REGARDING THE APPLICABLE SAFETY STANDARDS, OR THE SAFETY OF THE CONTRACTOR OR THIRD PARTIES IN PERFORMING THE WORK ON THIS PROJECT, WITH BOHLER ENGINEERING IN WRITING, AND RESPONDED TO BY BOHLER, IN WRITING, PRIOR TO THE INITIATION OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY. ALL DEMOLITION ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL, REGULATIONS, RULES, RECOMMENDATIONS, STATUTES, ORDINANCES AND CODES.
6. PRIOR TO STARTING ANY DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR:
- OBTAINING ALL REQUIRED PERMITS AND MAINTAINING THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND OTHER PUBLIC AGENCIES WITH JURISDICTION THROUGHOUT THE DURATION OF THE PROJECT, SITE WORK, AND DEMOLITION WORK.
7. NOTIFYING, AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL SOIL CONSERVATION DISTRICT, 72 HOURS PRIOR TO THE START OF WORK.
8. INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.
9. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR MUST CALL THE STATE ONE-CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARKOUT, IN ADVANCE OF ANY EXCAVATION.
10. LOCATING AND PROTECTING ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO, GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES. THE CONTRACTOR MUST USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES.
11. PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING DEMOLITION ACTIVITIES.
12. ARRANGING FOR AND COORDINATING WITH THE APPLICABLE UTILITY SERVICE PROVIDERS FOR THE TEMPORARY OR PERMANENT TERMINATION OF SERVICE REQUIRED BY THE PROJECT PLANS AND SPECIFICATIONS. THE CONTRACTOR MUST PROVIDE THE UTILITY ENGINEER AND OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.
13. COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES. WORK REQUIRED TO BE DONE "OFF-PEAK" IS TO BE DONE AT NO ADDITIONAL COST TO THE OWNER.
14. IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL, THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PLANS AND SPECIFICATIONS, THE CONTRACTOR MUST IMMEDIATELY CEASE ALL WORK AND IMMEDIATELY NOTIFY THE OWNER AND ENGINEER OF THE DISCOVERY OF SUCH MATERIALS.
15. THE FIRM OR ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR MUST PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY.
16. CONTRACTOR MUST PROVIDE ALL "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN. CONTRACTOR MUST USE NEW MATERIAL FOR ALL REPAIRS. CONTRACTOR'S REPAIRS MUST INCLUDE THE RESTORATION OF ANY ITEMS REPAIRED TO THE PRE-DEMOLITION CONDITION, OR BETTER. CONTRACTOR SHALL PERFORM ALL REPAIRS AT THE CONTRACTOR'S SOLE EXPENSE.
17. THE CONTRACTOR MUST NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION, OR REMOVAL OF FOUNDATION WALLS, FOOTINGS, OR OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE UNLESS SAME IS IN STRICT ACCORDANCE AND CONFORMANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, AND/OR UNDER THE WRITTEN DIRECTION OF THE OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.
18. CONTRACTOR MUST BACKFILL ALL EXCAVATION RESULTING FROM OR INCIDENTAL TO, DEMOLITION ACTIVITIES. BACKFILL MUST BE ACCOMPANIED WITH APPROVED BACKFILL MATERIALS AND MUST BE SUFFICIENTLY COMPACTED TO SUPPORT NEW IMPROVEMENTS AND PERFORMED IN COMPLIANCE WITH THE RECOMMENDATIONS AND GUIDANCE IN THE GEOTECHNICAL REPORT. BACKFILLING MUST OCCUR IMMEDIATELY AFTER DEMOLITION ACTIVITIES, AND MUST BE DONE SO AS TO PREVENT WATER ENTERING THE EXCAVATION. FINISHED SURFACES MUST BE GRADED TO PROMOTE POSITIVE DRAINAGE.
19. EXPLOSIVES MUST NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF BOTH THE OWNER AND ALL APPLICABLE GOVERNMENTAL AUTHORITIES. ALL THE REQUIRED PERMITS AND EXPLOSIVE CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL, STATE, AND LOCAL GOVERNMENTS MUST BE IN PLACE PRIOR TO CONTRACTOR STARTING AN EXPLOSIVE PROGRAM AND/OR ANY DEMOLITION. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES.
20. CONTRACTOR MUST PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE CURRENT FHWA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), AND THE FEDERAL, STATE, AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS AND/OR ROADWAY RIGHT-OF-WAY.
21. CONTRACTOR MUST CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO AVOID UNNECESSARY INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY PRIOR TO THE COMMENCEMENT OF ANY ROAD OPENING OR DEMOLITION ACTIVITIES IN OR ADJACENT TO THE RIGHT-OF-WAY.
22. DEMOLITION ACTIVITIES AND EQUIPMENT MUST NOT USE AREAS OUTSIDE THE DEFINED PROJECT LIMIT LINE, WITHOUT WRITTEN PERMISSION OF THE OWNER AND ALL GOVERNMENTAL AGENCIES WITH JURISDICTION.
23. THE CONTRACTOR MUST USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR IN ACCORDANCE WITH FEDERAL, STATE AND/OR LOCAL STANDARDS AFTER THE DEMOLITION IS COMPLETE. CONTRACTOR MUST CLEAN ALL ADJACENT STRUCTURES AND IMPROVEMENTS TO REMOVE ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR PRE-DEMOLITION CONDITION.
24. CONTRACTOR IS RESPONSIBLE TO SECURE THE SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER TO PREVENT THE ENTRY OF UNAUTHORIZED PERSONS AT ANY TIME.
25. CONTRACTOR IS RESPONSIBLE FOR SITE JOB SAFETY, WHICH MUST INCLUDE, BUT NOT BE LIMITED TO, THE INSTALLATION AND MAINTENANCE OF BARRIERS, FENCING AND OTHER APPROPRIATE SAFETY ITEMS NECESSARY TO PROTECT THE PUBLIC FROM AREAS OF CONSTRUCTION AND CONSTRUCTION ACTIVITY.
26. THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONSTRUCTIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION AS TO THE MEANS, METHODS, SEQUENCING, TECHNIQUES AND PROCEDURES TO BE USED TO ACCOMPLISH THAT WORK. ALL MEANS, METHODS, SEQUENCING, TECHNIQUES AND PROCEDURES TO BE USED MUST BE IN STRICT ACCORDANCE WITH ALL STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR MUST COMPLY WITH ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
27. DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION WASTES AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH ALL MUNICIPAL, COUNTY, STATE AND FEDERAL LAWS AND APPLICABLE CODES. THE CONTRACTOR MUST MAINTAIN RECORDS TO DEMONSTRATE PROPER DISPOSAL ACTIVITIES, TO BE PROMPTLY PROVIDED TO THE OWNER UPON REQUEST.
28. CONTRACTOR MUST MAINTAIN A RECORD SET OF PLANS UPON WHICH IS INDICATED THE LOCATION OF EXISTING UTILITIES THAT ARE CAPPED, ABANDONED IN PLACE, OR RELOCATED DUE TO DEMOLITION ACTIVITIES. THIS RECORD DOCUMENT MUST BE PREPARED IN A neat and WORKMANLIKE MANNER, AND TURNED OVER TO THE OWNER/DEVELOPER UPON COMPLETION OF THE WORK.
29. PARKING SPACES AND PARKING AISLES - SLOPES SHALL NOT EXCEED 1:50 (PER FOOT) OR NOMINALLY 2.0% IN ANY DIRECTION.
30. CURB RAMPS - SLOPE MUST NOT EXCEED 1:12 (8 1/3%) FOR A MAXIMUM OF SIX (6) FEET.
31. LANDINGS - MUST BE PROVIDED AT EACH END OF RAMPS, MUST PROVIDE POSITIVE DRAINAGE, AND MUST NOT EXCEED 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) IN ANY DIRECTION.
32. PATH OF TRAVEL ALONG ACCESSIBLE ROUTE - MUST PROVIDE A 36-INCH OR GREATER UNOBSTRUCTED WIDTH OF TRAVEL. CLEAR OVERHEADS AND/OR HANDRAILS CANNOT REDUCE THIS MINIMUM WIDTH. THE SLOPE MUST BE GREATER THAN 1:20 (5%) IN THE DIRECTION OF TRAVEL, AND MUST NOT EXCEED 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) IN CROSS SLOPE. WHERE PATH OF TRAVEL WILL BE GREATER THAN 1:20 (5%), ADA RAMP MUST BE ADHERED TO. A MAXIMUM SLOPE OF 1:10 (9.5%) FOR A MAXIMUM RISE OF 2 1/2 FEET, MUST BE MAINTAINED. THE RAMP MUST HAVE ADA HANDRAILS AND LEVEL LANDINGS ON EACH END THAT ARE CROSS SLOPED NO MORE THAN 1:50 IN ANY DIRECTION (1/4" PER FOOT OR NOMINALLY 2.0%) FOR POSITIVE DRAINAGE.
33. DOWNHILL - MUST HAVE A LEVEL "LANDING AREA ON THE EXTERIOR SIDE OF THE DOOR THAT IS SLOPED AWAY FROM THE DOOR NO MORE THAN 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA MUST BE NO LESS THAN 60 INCHES (5 FEET) LONG, EXCEPT WHERE OTHERWISE PERMITTED BY ADA STANDARDS FOR A FAVORABLE DOWNEY OPENING CONDITIONS. (SEE ICDANS 1111.1.2003 AND OTHER REFERENCED INCORPORATED BY CODE)
34. WHEN THE PROPOSED CONSTRUCTION INVOLVES CONSTRUCTION MODIFICATION, REVISION, OR EXTENSION OF OR TO ADA COMPLIANT EXISTING DOWNHILL DOORS OR SURFACES, CONTRACTOR MUST VERIFY EXISTING ELEVATIONS SHOWN ON THE PLAN. NOTE THAT TABLE 402.2 OF THE DEPARTMENT OF JUSTICE ADA STANDARDS FOR ACCESSIBLE DESIGN ALLOWS FOR STEEPER RAMP SLOPES IN RARE CIRCUMSTANCES. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES AND/OR FIELD CONDITIONS THAT DIFFER IN ANY WAY OR ANY RESPECT FROM WHAT IS SHOWN ON THE PLANS IN WRITING, BEFORE COMMENCEMENT OF WORK. CONSTRUCTION IMPROVEMENTS MUST FALL WITHIN THE MAXIMUM AND MINIMUM LIMITATIONS IMPOSED BY THE BARRIER FREE REGULATIONS AND THE ADA REQUIREMENTS.
35. THE CONTRACTOR MUST VERIFY THE SLOPES OF CONTRACTORS FORMS PRIOR TO POURING CONCRETE. IF ANY NON-COMPLIANCE IS OBSERVED OR EXISTS, CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER PRIOR TO POURING CONCRETE. CONTRACTOR IS RESPONSIBLE FOR ALL COSTS TO REMOVE, REPAIR AND REPLACE NON-COMPLYING CONCRETE.
36. IT IS STRONGLY RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION WITH THE LOCAL BUILDING CODE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

TYPICAL ABBREVIATIONS table with columns for KEY, DESCRIPTION, KEY, DESCRIPTION. Includes items like BC BOTTOM CURB, TC TOP CURB, BOC BACK OF CURB, BW BOTTOM OF WALL GRADE, TW TOP OF WALL, EXISTING, BM BENCHMARK, EOP EDGE OF PAVEMENT, etc.

TYPICAL LEGEND table with columns for EXISTING, PROPOSED. Includes symbols for PROPERTY LINE, EASEMENT, CURB, STORM MANHOLE, SEWER MANHOLE, CATCH BASIN, WETLAND FLAG, WETLAND LINE, SPOT ELEVATION, TOP & BOTTOM OF CURB, CONTOUR, FLOW ARROW, PAINTED ARROW, RIDGE LINE, GAS LINE, TELEPHONE LINE, ELECTRIC LINE, WATER LINE, OVERHEAD WIRE, STORM PIPE, SANITARY LINE, PARKING COUNTER, SIGN, LIGHT POLE, GUIDE RAIL, UTILITY POLE.

REFER TO SITE PLAN FOR ZONING ANALYSIS TABLE AND LAND USE / ZONING INFORMATION & NOTES
REFER TO SOIL EROSION CONTROL NOTES & DETAILS SHEET FOR TYPICAL EROSION NOTES AND DETAILS

STREET ADDRESS: 1080 KINGS HIGHWAY
CITY: NEW BEDFORD, STATE: MASSACHUSETTS



KINGS HIGHWAY
 (1089 STATE HIGHWAY LAYOUT)
 (PUBLIC - WIDTH VARIES)
 (NO ACCESS)

CITY CLERKS OFFICE
 NEW BEDFORD, MA

2016 APR -8 A 7:56

CITY CLERK

REV	DATE	DESCRIPTION
1	9/15/15	REVISIONS PER STAFF COMMENT
2	9/29/15	REVISIONS PER PEER REVIEW COMMENT
3	10/5/15	REVISIONS PER PEER REVIEW COMMENT
4	01/21/16	REVISIONS PER PLAYPLACE ADDITION



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 OFFICE ADDRESS: 690 CANTON STREET, WESTWOOD, MA

NOTE TO CONTRACTOR:

1. THE CONTRACTOR MUST COORDINATE ANY UTILITY WORK SO AS NOT TO DISRUPT IN ANY WAY SERVICE TO THE REMAINDER OF THE PROPERTY OUTSIDE OF THE MCDONALD'S LEASE AREA. LANDLORD SHALL HAVE THE RIGHT AND BE GIVEN THE OPPORTUNITY TO INSPECT ALL NEW UTILITY CONNECTIONS (PIPE, CONDUIT, ETC.) BEFORE IT IS BACK-FILLED OR COVERED UP. REVISE FOR ANY UTILITY CONNECTIONS BEING ABANDONED.
2. CONTRACTOR TO LOCATE ALL UTILITIES AND TAKE ALL NEEDED PRECAUTIONS NOT TO DISRUPT ANY UTILITIES SERVING THE LANDLORD'S PROPERTY. ANY WORK INVOLVING A DISRUPTION MUST BE COORDINATED IN ADVANCE AND OCCUR DURING NON-BUSINESS HOURS.

REFER TO GENERAL NOTES SHEET FOR DEMOLITION NOTES

THIS PLAN TO BE UTILIZED FOR DEMOLITION/REMOVAL PURPOSES ONLY

STREET ADDRESS: 1089 KINGS HIGHWAY
 CITY: NEW BEDFORD STATE: MASSACHUSETTS
 COUNTY: BRISTOL COUNTY
 SITE ID #: 020-0128
 PLAN DESCRIPTION: DEMOLITION PLAN

PLANNING	DATE: APR 08 2016	BY: EGD
DEPARTMENT	DATE: 4/8/16	BY: JAK
AS-BUILT	DATE:	BY:
SHEET NO. C-3	DATE:	BY:

BOHLER ENGINEERING
 352 TURNPIKE ROAD, SOUTHBOROUGH, MA 01772
 Phone: (508) 480-9900 Fax: (508) 480-9080
 www.BohlerEngineering.com

CIVIL & CONSULTING ENGINEERS SURVEYORS PROJECT MANAGERS ENVIRONMENTAL CONSULTANTS LANDSCAPE ARCHITECTS

OFFICES: WARREN, NJ; WEST HAVEN, CT; BOSTON, MA; NEW YORK, NY; PHILADELPHIA, PA; SOUTH WESTON, MA; BALTIMORE, MD; SOUTH BEND, IN; KANSAS CITY, MO; WASHINGTON, DC; CHARLOTTE, NC; RALEIGH, NC

CONSTRUCTION CHECK DATE: PROJECT No.: W142005 CAD I.D. #: W142005s4.dwg



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CASE 13-16 +14-16



KINGS HIGHWAY
 (1989 STATE HIGHWAY LAYOUT)
 (PUBLIC WIDTH VARIES)
 (NO ACCESS)

MAP 125, LOT 113
 N/F LANDS OF
 MICHAEL PANAGAKOS
 BK. 5268, PG. 311

MAP 25, LOT 29
 N/F LANDS OF
 CEDAR KINGS LLC
 BK. 8820, PG. 194

MAP 126, LOT 68
 PENN CENTRAL COMPANY

APPROXIMATE LOCATION OF
 10' WIDE EASEMENT
 PER BK. 1809, PG. 610

APPROXIMATE LOCATION OF
 10' WIDE EASEMENT
 PER BK. 1809, PG. 610

APPROXIMATE LOCATION OF
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 10' WIDE EASEMENT
 PER BK. 1809, PG. 610

APPROXIMATE LOCATION OF
 10' WIDE EASEMENT
 PER BK. 1809, PG. 610

CITY OF NEW BEDFORD CONSTRUCTION NOTES:

1. ANY MINOR MODIFICATIONS (AS DETERMINED BY THE CITY ENGINEER) TO THE INFORMATION SHOWN ON THE APPROVED SITE PLANS SHALL BE SUBMITTED TO THE CITY ENGINEER AS A MINOR PLAN REVIEW FOR APPROVAL PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
2. ANY WORK AND MATERIAL WITHIN THE CITY RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF NEW BEDFORD REQUIREMENTS.
3. ALL ACCESSIBLE PARKING RAMP AND ACCESS SHALL CONFORM TO ADA AND MAAB REQUIREMENTS.
4. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION. (REFER TO SOIL EROSION AND SEDIMENT CONTROL PLAN - SHEET)
5. ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO MUTCD REQUIREMENTS.

LAND USE / ZONING INFORMATION & NOTES

1. APPLICANT: MCDONALD'S USA, LLC
 602 CANTON STREET,
 WESTWOOD, MA 02090
2. OWNER: CEDAR KINGS, LLC
 CO CEDAR REALTY TRUST, INC.
 44 SOUTH BAYVIEW AVENUE, SUITE 304
3. PARCEL: MAP 125 & LOT 29
 1080 KINGS HIGHWAY
 NEW BEDFORD
 BRISTOL COUNTY, MASSACHUSETTS

ZONING ANALYSIS TABLE			
ZONING DISTRICT	REQUIRED	EXISTING	PROPOSED
PLANNED BUSINESS ZONING DISTRICT			
PLANNING BOARD - SITE PLAN REVIEW			
PLANNING BOARD - SPECIAL PERMIT (PARKING REDUCTION)			
ZBA - SPECIAL PERMIT (DRIVE THRU USE)			
ZBA - VARIANCE (TRASH ENCLOSURE SETBACK ENCROACHMENT)			
CONSERVATION COMMISSION - NOTICE OF INTENT			
MINIMUM LOT AREA (MAP 125 LOT 29)	0	30,830 SF	NO CHANGE
MCDONALD'S LEASE AREA	N/A	12,000 SF	41,534 SF
MIN. FRONTAGE	0	653.84 FT	NO CHANGE
MAX. BUILDING COVERAGE (%)	60%	11.4%	12.9%
MIN. FRONT SETBACK	25 FT	+106 FT	173.7 FT
MIN. SIDE SETBACK	25 FT	+148 FT	127.9 FT
MIN. REAR SETBACK	25 FT	+59.5 FT	66.7 FT
MAX. BUILDING HEIGHT	7 STORES / 100 FT	+16 FT	27'-2"
OPEN SPACE (%)	20%	15.0%	21.8%
PARKING SPACES (1)	83	50	35 (SP)
PARKING CRITERIA (P202)	1 SPACE PER EMPLOYEE + 1 SPACE PER 100 SF OF GFA 11 + 5,200 / 100 SF = 63		
ACCESSIBLE PARKING SPACES	2	2	2
ACCESSIBLE PARKING CRITERIA (STANDARD SPACE - 8'x18' W/ 9' ACCESSIBLE) (VAN ACCESSIBLE SPACE - 8'x18' W/ 9' ACCESSIBLE)	TOTAL PARKING 1 TO 25 + 1 ACCESSIBLE SPACE VAN ACCESSIBLE SPACES = 1 / 8 SPACES		

(SP) - PLANNING BOARD SPECIAL PERMIT REQUESTED
 (1) CALCULATION BASED ON THE PROPOSED 41,534 SF LEASE AREA.

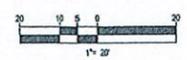
SIGN SUMMARY TABLE			
TYPE	ALLOWED	EXISTING	PROPOSED
SITE SIGNAGE			
FREESTANDING I.D. SIGN	PB - SPR	UNKNOWN HEIGHT & AREA	EXISTING TO REMAIN
BUILDING SIGNAGE			
FRONT WALL SIGN	PB - SPR	1 "M-PLAYPLACE" SIGN @ 450 SF	1 "MCDONALD'S" SIGN @ 34 SF 1 "PLAYPLACE" SIGN @ 28.5 SF WALL SIGN AREA = 62.5 SF
NON DRIVE THRU WALL SIGN	PB - SPR	NONE	1 "MCDONALD'S" SIGN @ 34 SF 1 "M" LOGO @ 14 SF WALL SIGN AREA = 48 SF
DRIVE THRU WALL SIGN	PB - SPR	1 "MCDONALD'S" SIGN @ 34 SF	1 "MCDONALD'S" SIGN @ 34 SF WALL SIGN AREA = 34 SF
REAR WALL SIGN	PB - SPR	NONE	1 "M" LOGO @ 14 SF
TOTAL BUILDING SIGNAGE	PB - SPR	± 84 SF	158.5 SF

NOTE: ALL SIGNS AREAS ARE "BOXED" FOR CALCULATIONS
 PB-SPR = REVIEWED AND APPROVED DURING PLANNING BOARD SITE PLAN REVIEW.

PAVEMENT STRIPING LEGEND	
6"/8" SYL	= 6" SINGLE YELLOW SOLID LINE
8"/8" SYL	= 8" SINGLE YELLOW SOLID LINE
4"/8" SYL	= 4" SINGLE WHITE SOLID LINE

REFER TO GENERAL NOTES SHEET FOR NOTES

THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY



CONSTRUCTION CHECK _____ DATE _____
 CONSTRUCTION CHECK _____ DATE _____
 PROJECT No.: W142005
 CAD I.D. #: W142005s4.dwg

STREET ADDRESS: 1080 KINGS HIGHWAY
 CITY: NEW BEDFORD
 COUNTY: BRISTOL COUNTY
 STATE: MASSACHUSETTS 8
 PLAN DESCRIPTION: SITE PLAN
 SHEET NO.: C-5 OF 15

J.A. KUSICH
 PROFESSIONAL ENGINEER
 LICENSE NO. 105415
 WESTWOOD, MA

McDonald's
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OFFICE ADDRESS: 680 CANTON STREET, WESTWOOD, MA

DATE: 8/12/15
 BY: EGD
 PLAN CHECKED: JAK
 APPROVED MCDONALD'S AGENT

BOHLER ENGINEERING
 352 TURNPIKE ROAD, SOUTHBOROUGH, MA 01772
 PHONE: (508) 480-3300, FAX: (508) 480-9080, www.BohlerEngineering.com

CIVIL & CONSULTING ENGINEERS
 SURVEYORS
 PROJECT MANAGERS
 ENVIRONMENTAL CONSULTANTS
 LANDSCAPE ARCHITECTS

OFFICES: WARREN, NJ; UPLAND, CA; NEW YORK, NY; WESTPORT, NY; NEW YORK, NY; PHILADELPHIA, PA; LEHIGH VALLEY, PA; SOUTHAMPTON, VA; BALTIMORE, MD; SOUTHERN HAVEN, MD; WASHINGTON, DC; CHARLOTTE, NC; RALEIGH, NC.



CK88 13-6 + 14-16



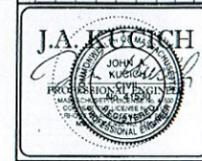
KINGS HIGHWAY
 (1989 STATE HIGHWAY LAYOUT)
 (PUBLIC WIDTH VARIES)
 (NO ACCESS)

CITY CLERKS OFFICE
 NEW BEDFORD, MA

2016 APR -8 A 7:56

CITY CLERK

REV	DATE	DESCRIPTION
1	9/15/15	REVISIONS PER STAFF COMMENT
2	9/28/15	REVISIONS PER PEER REVIEW COMMENT
3	10/5/15	REVISIONS PER PEER REVIEW COMMENT
4	01/21/16	REVISIONS PER PLAYPLACE ADDITION



McDonald's
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 NORTH EAST REGION
 600 CANTON STREET
 WESTWOOD, MA

DATE	APPROVALS
	SIGNATURE
	APPROVED MCDONALD'S AGENT

THIS PLAN TO BE UTILIZED FOR SITE GRADING PURPOSES ONLY

REFER TO GENERAL NOTES SHEET FOR GRADING & UTILITY NOTES

STREET ADDRESS
 1080 KINGS HIGHWAY

CITY STATE
 NEW BEDFORD MASSACHUSETTS

COUNTY
 BRISTOL COUNTY

SITE ID # 020-0128

PLAN DESCRIPTION
 GRADING & DRAINAGE PLAN

PLANNING BY
 EGD

PLANNING
 APR 08 2016

PLAN CHECKED BY
 JAK

SHEET NO.
 DEPARTMENT

OF 15

BOHLER ENGINEERING
 352 TURNPIKE ROAD
 SOUTHBOROUGH, MA 01772
 Phone: (508) 480-9900
 Fax: (508) 480-9080
 www.BohlerEngineering.com

CIVIL & CONSULTING ENGINEERS
 SURVEYORS
 PROJECT MANAGERS
 ENVIRONMENTAL CONSULTANTS
 LANDSCAPE ARCHITECTS

OFFICES:

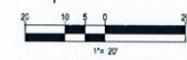
- WARREN, NJ
- LITTLE ROCK, AR
- BOSTON, MA
- NEW YORK, NY
- PHILADELPHIA, PA
- LEHIGH VALLEY, PA
- SOUTH EASTERN, PA
- BALTIMORE, MD
- SOUTH BEND, IN
- NORTH CAROLINA
- NEW YORK, NY
- PHILADELPHIA, PA
- CHARLOTTE, NC
- RALEIGH, NC

CONSTRUCTION CHECK DATE

CONSTRUCTION CHECK DATE

PROJECT NO.: W142005

CAD I.D. #: W142005s4.dwg



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CASE 13-16 +14-16



KINGS HIGHWAY
(1989 STATE HIGHWAY LAYOUT)
(PUBLIC WIDTH LINES)
(NO ACCESS)

CITY OF NEW BEDFORD CONSTRUCTION NOTES:

2016 APR -8 A 7:56

NOTE TO CONTRACTOR:

1. THE CONTRACTOR MUST OBTAIN A STREET DISTURBANCE AND OBSTRUCTION PERMIT PRIOR TO ANY CONSTRUCTION WITHIN THE RIGHT-OF-WAY.
2. ALL SEWER AND WATER MATERIALS AND CONSTRUCTION SHALL CONFORM TO CITY OF NEW BEDFORD REQUIREMENTS.
3. ALL WATER AND SEWER CONSTRUCTION SHALL BE INSPECTED BY THE CITY OF NEW BEDFORD BEFORE BEING BACK FILLED.
4. THE CITY SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO THE REQUIRED INSPECTIONS.

1. THE CONTRACTOR MUST COORDINATE ANY UTILITY WORK SO AS NOT TO DISRUPT IN ANY WAY SERVICE TO THE REMAINDER OF THE PROPERTY OUTSIDE OF THE MCDONALD'S LEASE AREA. LANDLORD SHALL HAVE THE RIGHT AND BE GIVEN THE OPPORTUNITY TO INSPECT ALL NEW UTILITY CONNECTIONS, PIPE, CONDUIT, ETC. BEFORE IT IS BACK FILLED OR COVERED UP. LIKEWISE FOR ANY UTILITY CONNECTIONS BEING ABANDONED.
2. CONTRACTOR TO LOCATE ALL UTILITIES AND TAKE ALL NEEDED PRECAUTIONS NOT TO DISRUPT ANY UTILITIES SERVING THE LANDLORD'S PROPERTY. ANY WORK INVOLVING A DISRUPTION MUST BE COORDINATED IN ADVANCE AND OCCUR DURING NON-BUSINESS HOURS.

REV	DATE	DESCRIPTION
1	8/15/15	REVISIONS PER STAFF COMMENT
2	9/28/15	REVISIONS PER PEER REVIEW COMMENT
3	10/5/15	REVISIONS PER PEER REVIEW COMMENT
4	01/21/16	REVISIONS PER PLAYPLACE ADDITION



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OFFICE ADDRESS: 690 CANTON STREET, WESTWOOD, MA

PLAN APPROVALS	SIGNATURE	DATE
STATUS	DATE	BY
DRAWN BY: APR 08 2016	8/12/15	EGD
PLAN CHECKED: JAK		
AS-BUILT		
SHEET NO. C-7		

THIS PLAN TO BE UTILIZED FOR UTILITIES PURPOSES ONLY

REFER TO GENERAL NOTES SHEET FOR GRADING & UTILITY NOTES

STREET ADDRESS 1080 KINGS HIGHWAY	
CITY NEW BEDFORD	STATE MASSACHUSETTS
COUNTY BRISTOL COUNTY	
SITE ID # 020-0128	PLAN DESCRIPTION UTILITY PLAN

BOHLER ENGINEERING
352 TURNPIKE ROAD, SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900, Fax: (508) 480-9080, www.BohlerEngineering.com

CIVIL & CONSULTING ENGINEERS, SURVEYORS, PROJECT MANAGERS, ENVIRONMENTAL CONSULTANTS, LANDSCAPE ARCHITECTS

OFFICES: WARREN, NJ; LITTLE ROCK, AR; BOSTON, MA; NEW YORK, NY; PHILADELPHIA, PA; SOUTH FORT MYERS, FL; BALTIMORE, MD; SOUTHERN HAVEN, CT; NORTHERN VIRGINIA; WASHINGTON, DC; NEW YORK METRO; CENTRAL VIRGINIA; CHARLOTTE, NC; RALEIGH, NC.

CONSTRUCTION CHECK	DATE
CONSTRUCTION CHECK	DATE
PROJECT No.: W142005	
CAD ID #: W142005s4.dwg	

PLAN 10/20/2015 10:00 AM 10/20/2015 10:00 AM



CASE 13-16 +14-16



KINGS HIGHWAY
 (1989 STATE HIGHWAY LAYOUT)
 (PUBLIC WIDTH VARIES)
 (NO ACCESS)

MAP 125, LOT 113
 N/F LANDS OF
 MICHAEL PANAGAKOS
 BK. 5268, PG 311

MAP 25, LOT 29
 N/F LANDS OF
 CEDAR-KINGS LLC
 BK. 8820, PG 194

CITY OF NEW BEDFORD CONSTRUCTION NOTES:

1. SAFETY FENCING SHALL BE PROVIDED ON ALL STOCKPILES GREATER THAN 10' IN HEIGHT.
2. ALL BMP EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO DEMOLITION OR ANY SITE WORK.
3. EROSION CONTROL BMP'S SHALL CONFORM TO US EPA, NPDES MA DEP AND MASSDOT-USETS EROSION AND SEDIMENTATION CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS.
4. MAINTENANCE SPECIFICATIONS FOR ALL PROPOSED EROSION AND SEDIMENTATION CONTROLS.

2016 APR -8 A 7:56
 CITY CLERK

REV	DATE	DESCRIPTION
1	9/15/15	REVISIONS PER STAFF COMMENT
2	9/28/15	REVISIONS PER PEER REVIEW COMMENT
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4	01/21/16	REVISIONS PER PLAYPLACE ADDITION



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 NORTH-EAST REGION
 690 CANTON STREET
 WESTWOOD, MA

PLAN APPROVALS	DATE	BY
SIGNATURE		
APPROVED MCDONALD'S AGENT		
STATUS	DATE	BY
DRAWN BY: PLANNING	8/13/15	EGD
PLAN CHECKED		JAK
AS-BUILT	APR 08 2016	
SHEET NO.		
DEPARTMENT		

THIS PLAN TO BE UTILIZED FOR SITE SOIL AND EROSION CONTROL PURPOSES ONLY

REFER TO SOIL EROSION CONTROL NOTES & DETAIL SHEET FOR EROSION NOTES AND DETAILS

STREET ADDRESS
 1080 KINGS HIGHWAY

CITY STATE
 NEW BEDFORD MASSACHUSETTS

COUNTY
 BRISTOL COUNTY

SITE ID #
 020-0128

PLAN DESCRIPTION
 SOIL EROSION & SEDIMENT CONTROL PLAN



BOHLER ENGINEERING
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 SOUTHBOROUGH, MA 01772
 Phone: (508) 480-9900
 Fax: (508) 450-9080
 www.BohlerEngineering.com

CIVIL & CONSULTING ENGINEERS
 SURVEYORS
 PROJECT MANAGERS
 ENVIRONMENTAL CONSULTANTS
 LANDSCAPE ARCHITECTS

OFFICES:

- WARREN, NJ
- UPSTATE NEW YORK
- BOSTON, MA
- NEW YORK METRO
- PHILADELPHIA/SOUTHERN NJ
- LEHIGH VALLEY, PA
- SOUTH-EASTERN, VA
- BALTIMORE, MD
- SOUTH-EAST MARYLAND
- NORTH-VA VIRGINIA
- WASHINGTON, DC
- CENTRAL VIRGINIA
- CHARLOTTE, NC
- RALEIGH, NC

CONSTRUCTION CHECK DATE

CONSTRUCTION CHECK DATE

PROJECT No.:
 W142005

CAD I.D. #:
 W142005s4.dwg



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CASE 13-16-114-16



KINGS HIGHWAY
 (1989 STATE HIGHWAY LAYOUT)
 (PUBLIC WIDTH VARIES)
 (NO ACCESS)

MAP125 LOT 113
 N/F LANDS OF
 MICHAEL PANAGAKIS
 BK. 5268, PG 311

LOT A

LOT A-1

CITY CLERKS OFFICE
 NEW BEDFORD, MA
 2016 APR -8 A 8:07
 CITY CLERK

LOT B-1

LANDSCAPE SCHEDULE					
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
SHADE TREES					
OTK	2	OLESTIA TRICHANTIS 'SUNDEL'	SKYLINE THORNLESS HONEYSUCK	3 1/2-3' CAL.	B#E
SUBTOTAL: 2					
DECIDUOUS SHRUBS					
CPFA	8	CHAMAEDORIS PICTA 'TULSA AREA VAR'	ORNIF GOLD THROAT ORCHID	15-18" SPD.	B#D
IGS	3	ILIX GLABRA 'SHAROCK'	SHORRICK INDIAN HULL	24-30"	B#D
RFM	5	RHOCHOCORON CAROLINAW 3' PM	FLM RHODODENDRUM	24-30"	B#E
SUBTOTAL: 20					
GROUND COVERS					
JM	12	JUNIPERUS HORIZONTALIS 'MILTON'	MILTON'S BLUE JUNIPER	15-18" SPD.	B#D
SUBTOTAL: 12					

REV	DATE	DESCRIPTION
1	9/15/15	REVISIONS PER STAFF COMMENT
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3	10/5/15	REVISIONS PER PEER REVIEW COMMENT
4	01/21/16	REVISIONS PER PLAYPLACE ADDITION



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 AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.
 OFFICE: NORTHEAST REGION
 ADDRESS: 690 CANTON STREET
 WESTWOOD, MA

APPROXIMATE LOCATION OF
 10' WIDE ELECTRICAL EASEMENT
 PER BK. 1606, PG. 610

PROP. 3" THICK LAYER OF DOUBLE SHREDED
 HARDWOOD BARK MULCH OVER WATER
 PERMEABLE WEED BARRIER FABRIC IN ALL
 PLANTING BEDS (TYP.)

MAP 25, LOT 29
 N/F LANDS OF
 CEDAR-KINGS LLC
 BK. 8820, PG 194

PROP. HYDROSEED LAIN
 OVER 6" TOPSOIL (TYP.)

PROP. 3" THICK LAYER OF DOUBLE SHREDED
 HARDWOOD BARK MULCH OVER WATER
 PERMEABLE WEED BARRIER FABRIC IN ALL
 PLANTING BEDS (TYP.)

PROP. HYDROSEED LAIN
 OVER 6" TOPSOIL (TYP.)

PROP. HYDROSEED LAIN OVER 6" TOPSOIL (TYP.)

CONCRETE
 BUILDING
 (TO REMAIN)

15' WIDE EASEMENT
 TO THE CITY OF
 NEW BEDFORD

EX. ST. OVERGROWN
 VEGETATION TO BE REMOVED
 PROP. HYDROSEED LAIN
 OVER 6" TOPSOIL (TYP.)

APPROXIMATE LOCATION
 EASEMENT TO WETLAND
 PER BK. 5506, PG. 203

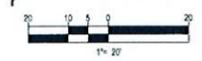
PROP. 3" THICK LAYER OF DOUBLE SHREDED
 HARDWOOD BARK MULCH OVER WATER
 PERMEABLE WEED BARRIER FABRIC IN ALL
 PLANTING BEDS (TYP.)

MAP 126, LOT 68
 PENN CENTRAL COMPANY

EXIST. OVERGROWN
 VEGETATION TO BE REMOVED
 PROP. HYDROSEED LAIN OVER
 6" TOPSOIL (TYP.)

24' CITY OF NEW BEDFORD
 WILDLIFE TRIVER

APPROXIMATE LOCATION OF
 WETLANDS PER ANNO
 APPLICATION #2642-654



THIS PLAN TO BE UTILIZED FOR
 LANDSCAPE PURPOSES ONLY

REFER LANDSCAPE NOTES &
 DETAILS SHEET FOR LANDSCAPE
 NOTES AND DETAILS

STREET ADDRESS 1080 KINGS HIGHWAY	
CITY NEW BEDFORD	STATE MASSACHUSETTS
COUNTY BRISTOL COUNTY	
SITE ID # 020-0128	PLAN DESCRIPTION LANDSCAPE PLAN

STATUS	DATE	BY
DRAWN BY:	8/12/15	EGD
PLAN CHECKED:		JAK
AS-BUILT		
SHEET NO.	C-10	

BOHLER ENGINEERING
 352 TURNPIKE ROAD
 SOUTHBOROUGH, MA 01772
 Phone: (508) 450-9000
 Fax: (508) 450-9080
 www.BohlerEngineering.com

CIVIL & CONSULTING ENGINEERS
 SURVEYORS
 PROJECT MANAGERS
 ENVIRONMENTAL CONSULTANTS
 LANDSCAPE ARCHITECTS

OFFICES: HARTFORD, CT; UPLAND, MA; BOSTON, MA; NEW YORK, NY; PHILADELPHIA, PA; LEHIGH VALLEY, PA; SOUTH EASTON, MA; BALTIMORE, MD; SOUTHERN MANHATTAN, NY; WASHINGTON, DC; CENTRAL VIRGINIA, VA; CHARLOTTE, NC; RALEIGH, NC

CONSTRUCTION CHECK: _____ DATE _____
 CONSTRUCTION CHECK: _____ DATE _____
 PROJECT NO.: W142005
 CAD I.D. #: W142005ss4.dwg



Case 13-16
 Case 14-16



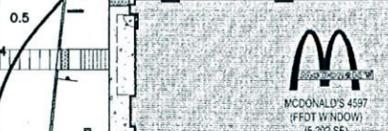
KINGS HIGHWAY
 (1988 STATE HIGHWAY LAYOUT)
 (PUBLIC WIDTH LINES)
 (NO ACCESS)

APPROXIMATE LOCATION OF
 10' WIDE ELECTRICAL EASEMENT
 PER BK. 1609, PG. 610

MAP 125, LOT 113
 N/F LANDS OF
 MICHAEL PANAGAKOS
 BK. 5268, PG. 311

MAP 25, LOT 29
 N/F LANDS OF
 CEDAR-KINGS LLC
 BK. 8820, PG. 194

CONCRETE
 BUILDING
 (TO REMAIN)



1 STORY
 BUILDING
 (TO REMAIN)

CITY CLERKS OFFICE
 NEW BEDFORD, MA

2016 APR - 8 A 7:5

CITY CLERK

LIGHTING NOTES:

- THIS LIGHTING PLAN DEPICTS PROPOSED SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURERS. ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
- THE LIGHT LOSS FACTORS USED IN THESE LIGHTING CALCULATIONS ARE 0.90 FOR ALL LED LUMINAIRES, 0.80 FOR ALL HIGH PRESSURE SODIUM LUMINAIRES OR 0.72 FOR ALL METAL HALIDE LUMINAIRES UNLESS OTHERWISE SPECIFIED. THESE FACTORS ARE INDICATIVE OF TYPICAL LIGHTING INDUSTRY MODELING STANDARDS.
- THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ALL ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT ELEVATION ZERO (GROUND LEVEL) UNLESS OTHERWISE NOTED. THE VALUES DEPICTED ON THIS PLAN ARE IN FOOT-CANDELS.
- THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY. THIS WORK SHOULD INCLUDE, BUT NOT BE LIMITED TO, FREQUENT VISUAL INSPECTIONS, CLEANING OF LENSES, AND RELAMPING IF NECESSARY AT LEAST ONCE EVERY SIX (6) MONTHS. FAILURE TO FOLLOW THE ABOVE STEPS COULD CAUSE THE LUMINAIRES, LAMPS AND LENSES TO FAIL PROPERLY TO FUNCTION.
- WHERE APPLICABLE, THE EXISTING CONDITION LIGHT LEVELS ILLUSTRATED ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES. UNLESS ACTUAL FIELD MEASUREMENTS ARE TAKEN WITH A LIGHT METER AND ARE CONSEQUENTLY APPROXIMATIONS ONLY. DUE TO FACTORS SUCH AS FUTURE MAINTENANCE EQUIPMENT TOLERANCES, WEATHER CONDITIONS, ETC. ACTUAL LIGHT LEVELS MAY DIFFER. EXISTING LIGHT LEVELS DEPICTED ON THIS PLAN SHOULD BE CONSIDERED APPROXIMATE.
- THIS LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES ONLY. POWER SYSTEM, CONDUITS, WIRING, VOLTAGES AND OTHER ELECTRICAL COMPONENTS ARE THE RESPONSIBILITY OF THE ARCHITECT, MEP AND/OR LIGHTING CONTRACTOR, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. LIGHT POLE BASES ARE THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONTRACTOR IS RESPONSIBLE FOR INSTALLING LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES AND ALL OTHER APPLICABLE RULES, REGULATIONS, LAWS AND STATUTES.
- CONTRACTOR MUST BRING TO DESIGNER'S ATTENTION, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE UTILITIES, OR OTHER STRUCTURES.
- IT IS LIGHTING CONTRACTORS RESPONSIBILITY TO COORDINATE WITH THE PROJECT ARCHITECT OR OWNER REGARDING THE POWER SOURCE(S) FROM WITHIN THE BUILDING AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT.
- THE LIGHTING CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE SITE PLAN, INCLUDING BUT NOT LIMITED TO, GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL GOVERNMENTAL RULES, LAWS, ORDINANCES, REGULATIONS AND THE LIKE.
- THE CONTRACTOR MUST VERIFY THAT INSTALLATION OF LIGHTING FIXTURES COMPLIES WITH THE REQUIREMENTS FOR SEPARATION FROM OVERHEAD ELECTRICAL WIRES PER STATE REGULATIONS.
- WHEN A BANK ATM IS INCLUDED IN THE PLAN, THE LIGHTING DESIGN REPRESENTS BOLLERS UNDERSTANDING AND INTERPRETATION OF THE REGULATORY LIGHTING LEVELS INTENDED BY PUBLISHED STANDARDS.
- UPON OWNER'S ACCEPTANCE OF THE COMPLETED PROJECT, THE OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE, SERVICING, REPAIR AND INSPECTION OF THE LIGHTING SYSTEM AND ALL OF ITS COMPONENTS AND RELATED SYSTEMS, TO ENSURE ADEQUATE LIGHTING LEVELS ARE PRESENT AND FUNCTIONING AT ALL TIMES.
- LIGHTING LEVELS INDICATED ON THIS PLAN ARE TAKEN FROM PLAN PREPARED BY SECURITY LIGHTING SYSTEMS, ENTITLED "FOOT-CANDLE POINT FOOTCANDLE PLOT", DRAWING NUMBER 10P002754 AND DATED 07/10/15.

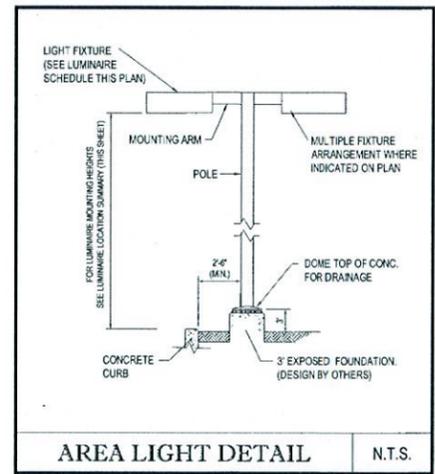
NUMERIC SUMMARY

LABEL	CALC TYPE	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
PAVED SURFACE READINGS	ILLUMINANCE	FC	4.7	16.6	0.5	9.31	32.00
PROPERTY LINE READINGS	ILLUMINANCE	FC	1.2	3.9	0.2	5.96	19.50

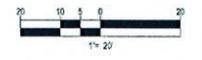
LUMINAIRE SCHEDULE

SYMBOL	QTY	ARRANGEMENT	LUMENS	LLF	DESCRIPTION
□ A	1	SINGLE	24,700	0.87	280 WATT VFLP (LARGE LED) VFL-9626-250-54-T4-UNV-9A-11-11 (7) POLE TYPE, MOUNTING HEIGHT 21'
□ B	1	DOUBLE @ 180	24,700	0.87	280 WATT VFLP (LARGE LED) VFL-9626-250-54-T4-UNV-9A-11-11 (7) POLE TYPE, MOUNTING HEIGHT 21'
□ C	2	DOUBLE @ 90	24,700	0.87	280 WATT VFLP (LARGE LED) VFL-9626-250-54-T4-UNV-9A-11-11 (7) POLE TYPE, MOUNTING HEIGHT 21'

* POLES SPECIFIED ON THIS DRAWING ARE RATED FOR AN 120 MPH WIND LOAD. FOR AREAS WHERE THE WIND LOAD CRITERIA EXCEEDS 120 MPH, PLEASE CONSULT FACTORY FOR PROPER POLE SPECIFICATION AND MODEL NUMBER.
 ** SPECIFY COLOR



THIS PLAN TO BE UTILIZED FOR
 LIGHTING PURPOSES ONLY



BOHLER ENGINEERING
 352 TURNPIKE ROAD
 SOUTHBOROUGH, MA 01772
 Phone: (508) 490-9900 Fax: (508) 490-9080
 www.BohlerEngineering.com

CIVIL & CONSULTING ENGINEERS
 SURVEYORS
 PROJECT MANAGERS
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OFFICES:
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ELKRIE, MD
 SOUTHERN, MD
 NORTHERN, VA
 WASHINGTON, DC
 CENTRAL, VA
 CHARLOTTE, NC
 RALEIGH, NC

CONSTRUCTION CHECK _____ DATE _____
 CONSTRUCTION CHECK _____ DATE _____
 PROJECT No.: W142005
 CAD I.D. #: W142005s4.dwg

STREET ADDRESS
 1080 KINGS HIGHWAY
 CITY NEW BEDFORD STATE MASSACHUSETTS
 COUNTY BRISTOL COUNTY
 SITE ID # 020-0128
 PLAN DESCRIPTION LIGHTING PLAN

REV	DATE	DESCRIPTION
1	09/15/15	REVISIONS PER STAFF COMMENT
2	02/26/15	REVISIONS PER PEER REVIEW COMMENT
3	10/5/15	REVISIONS PER PEER REVIEW COMMENT
4	01/21/16	REVISIONS PER PLAYPLACE ADDITION

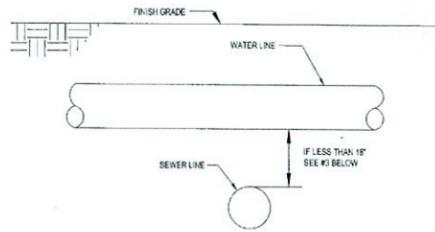
J.A. KUCICH
 PROFESSIONAL ENGINEER
 MASSACHUSETTS LICENSE NO. 4183
 CONSTRUCTION LICENSE NO. 2017
 MECHANICAL LICENSE NO. 2017
 MECHANICAL LICENSE NO. 2015

McDonald's
 THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.
 OFFICE NORTH-EAST REGION
 ADDRESS 690 CANTON STREET WESTWOOD, MA

PLAN APPROVALS
 SIGNATURE _____ DATE _____
 APPROVED MCDONALD'S AGENT

PLANNING DEPARTMENT
 DRAWN BY: 8/12/15 EGD
 AS-BUILT JAK
 SHEET NO. 12
 OF 15

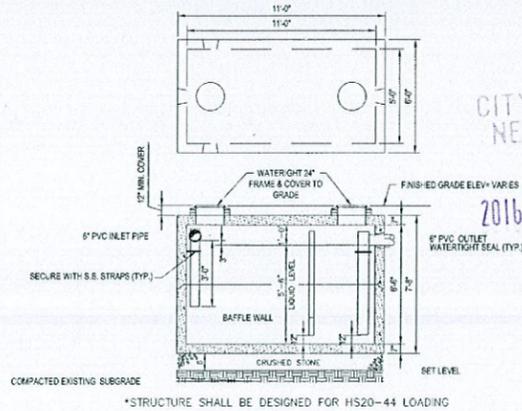
CASE 13-16 + 14-14



NOTES:
 1. THE VERTICAL SEPARATION BETWEEN THE WATER MAIN AND THE SEWER LINE SHALL BE A MINIMUM OF 18 INCHES.
 2. THE HORIZONTAL SEPARATION BETWEEN THE WATER MAIN AND THE SEWER LINE SHALL BE A MINIMUM OF 10 FEET.
 3. IF 1 OR 2 CANNOT BE MAINTAINED EITHER:
 A. WATER MAINS TO BE RE-LOCATED OR RE-CONSTRUCTED USING MECHANICAL JOINTS DUCTILE IRON PIPE FOR A DISTANCE OF 10 FEET ON EITHER SIDE OF THE CROSSING. CENTER WATER MAIN LENGTH OF PIPE SO THAT CENTER OF PIPE SECTION IS OVER SEWER. CENTER LENGTH OF SEWER PIPE UNDER CENTER OF WATER MAIN SO THAT JOINTS ARE THE MAXIMUM DISTANCE POSSIBLE APART.
 B. WATER AND SEWER LINES SHALL BE CONCRETE ENCASED PER DETAIL.

WHERE 10' HORIZONTAL SEPARATION OR 18" VERTICAL SEPARATION CANNOT BE ACHIEVED

WATER MAIN CROSSINGS



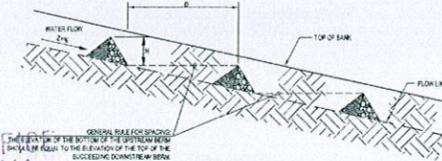
*STRUCTURE SHALL BE DESIGNED FOR HS20-44 LOADING

PRECAST GREASE TRAP 2,000 GAL./H.D.

CITY CLERK OF NEW BEDFORD, MA

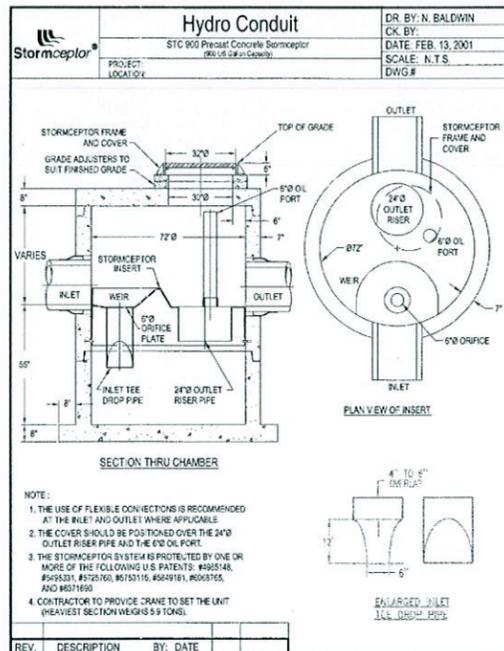
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CITY CLERK



ELEVATION A

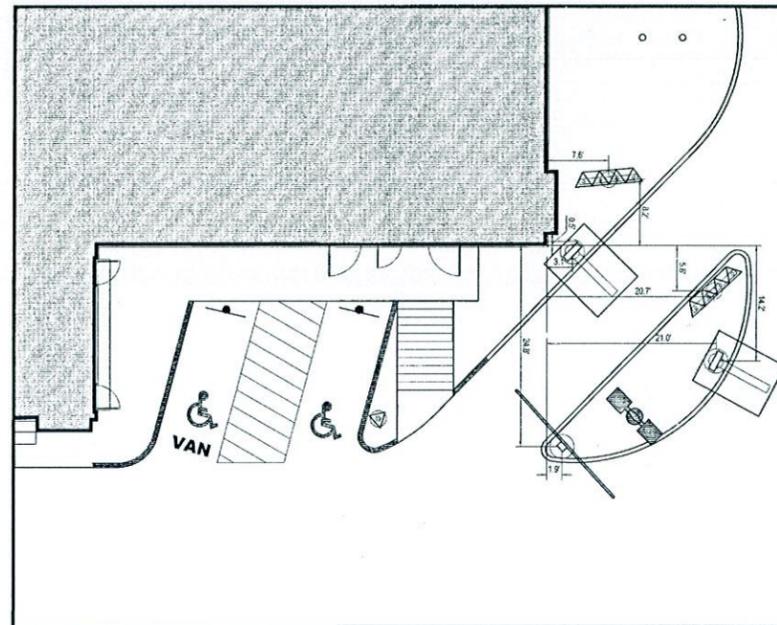
ROCK CHECK DAM



NOTE:
 1. THE USE OF FLEXIBLE CONNECTIONS IS RECOMMENDED AT THE INLET AND OUTLET WHERE APPLICABLE.
 2. THE COVER SHOULD BE POSITIONED OVER THE 24" OUTLET RISER PIPE AND THE 6" OIL PORT.
 3. THE STORMCEPTOR SYSTEM IS PROTECTED BY ONE OR MORE OF THE FOLLOWING U.S. PATENTS: #580548, #545531, #572670, #573516, #662871, #662872, AND #637169.
 4. CONTRACTOR TO PROVIDE CRANE TO SET THE UNIT (HEAVIEST SECTION WEIGHS 3.9 TONS).

STORMCEPTOR STC 900

N.T.S.



SEE CITY-STATE STANDARDS & DESIGN TOLERANCES.

- DISTANCE FROM CENTER OF OPEN PRESENT WINDOW TO CENTER OF OPEN CASH WINDOW STANDARD IS 42'-48" AND IS SPECIFIC TO EACH BUILDING CONFIGURATION. ACCEPTABLE TOLERANCE IS 40' MIN ON REMODELS ONLY.
- DISTANCE FROM CENTER OF OPEN CASH WINDOW TO CENTER OF PRIMARY LANE COO IS 10' OPTIMUM 8' OR 8' MIN. ACCEPTABLE TOLERANCE IS PLUS OR MINUS 3' FOR 10' OR 8' QUEUES.
- THE CRITICAL HOLD DISTANCE FROM CENTER OF COO TO CENTER OF MENU BOARD FOOTING IN PRIMARY LANE IS 10'. THE ANGLE OF THE MENU BOARD CAN BE ADJUSTED FROM 45-50 DEGREES ALLOWING 100% VISIBILITY FOR THE FIRST CAR AT THE COO.
- THE CRITICAL HOLD DISTANCE FROM CENTER OF THE PRIMARY LANE COO TO THE TIP OF THE CURVED ISLAND IS 15'.
- THE CRITICAL HOLD DISTANCE FROM TIP OF ISLAND TO CENTER OF SECONDARY LANE MENU BOARD IS 8'. THE DISTANCE FROM OUTSIDE CURB TO THE CENTER OF MENU BOARD IS 27'.
- THE CRITICAL HOLD DISTANCE FROM TIP OF ISLAND TO CENTER OF SECONDARY LANE COO IS 14'.
- THE ISLAND WIDTH IS 12' OF STANDARD FROM FACE OF CURB TO CURB.
- THE PRE-SELL BOARD IS OPTIONAL AND IS GENERALLY LOCATED 30" FROM THE CENTER OF THE COO IN THE PRIMARY LANE. THE END OF THE FRONT FACE OF THE BOARD SHOULD BE 12" FROM THE FACE OF THE CURB.
- A GATEWAY IS REQUIRED AND PLACED AT THE DRIVE-THRU LANE ENTRANCE.
- EVERY SIDE SHOULD HAVE BOTH COO CANOPY IN BOTH LANES.

DRIVE-THRU

SCALE: 1"=10'

THE REGIONAL CONSTRUCTION MANAGER IS TO REVIEW AND APPROVE ALL DRIVE-THRU LAYOUTS. A DRIVE-THRU IS FINAL AND CONSIDERED "RED", ONCE APPROVED. NO CHANGES ARE TO BE MADE AFTER THIS POINT.

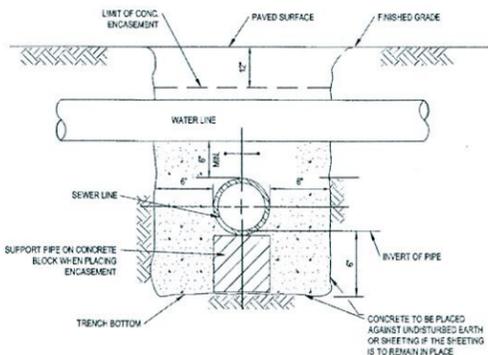
NOTE: THE PLACEMENT OF THE COO SHOULD BE SUCH THAT IT PREVENTS OR MINIMIZES BLOCKING THE CUSTOMER'S VIEW OF THE MENU BOARD WHILE ORDERING.

NOTE: LINEAR DIMENSIONS ARE MEASURED PERPENDICULAR TO THE BUILDING FACES UNLESS OTHERWISE NOTED.

NOTE: ALL SIGN DIMENSIONS ARE TO BE 8" FROM FACE OF CURB. THIS IS MEASURED FROM THE CLOSEST POINT ON THE SIDE.

DRIVE-THRU

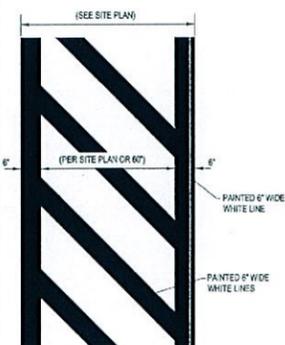
SCALE: 1"=10'



NOTES:
 1. PIPE MUST BE BRACED VERTICALLY & HORIZONTALLY TO PREVENT FLOTATION DURING PLACEMENT OF CONCRETE.
 2. ALL CONCRETE ENCASEMENT SHALL BE KEPT 12" BELOW THE BOTTOM OF ASPHALT PAVEMENT.

CONCRETE ENCASEMENT DETAIL

N.T.S.



CROSSWALK DETAIL

N.T.S.

N.T.S.

BOHLER ENGINEERING
 352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772
 Phone: (508) 480-9900 Fax: (508) 480-9050
 www.BohlerEngineering.com

CIVIL & CONSULTING ENGINEERS SURVEYORS PROJECT MANAGERS ENVIRONMENTAL CONSULTANTS LANDSCAPE ARCHITECTS

OFFICES: WARREN, NJ; WESTFIELD, MA; NEW YORK, NY; PHILADELPHIA, PA; LEHIGH VALLEY, PA; SOUTH EASTERN, PA; BALTIMORE, MD; SOUTHERN MARYLAND; CHARLOTTE, NC; WASHINGTON, DC; PHOENIX, AZ; CENTRAL VIRGINIA; CHARLOTTE, NC; RALEIGH, NC.

CONSTRUCTION CHECK	DATE
CONSTRUCTION CHECK	DATE
PROJECT No.:	W142005
CAD I.D. #:	W142005s4.dwg

STREET ADDRESS		1080 KINGS HIGHWAY	
CITY	STATE	CITY	STATE
NEW BEDFORD	MASSACHUSETTS	NEW BEDFORD	MASSACHUSETTS
COUNTY		BRISTOL COUNTY	
SITE ID #	PLAN DESCRIPTION	STATUS	DATE
020-0128	DETAIL SHEET	AS-BUILT	8/12/15

BY	DATE	BY	DATE
BYP	8/12/15	EGD	
BYP		PLAN CHECKER	
EOD		AS-BUILT	
CFD		SHEET NO.	APR 08 2015

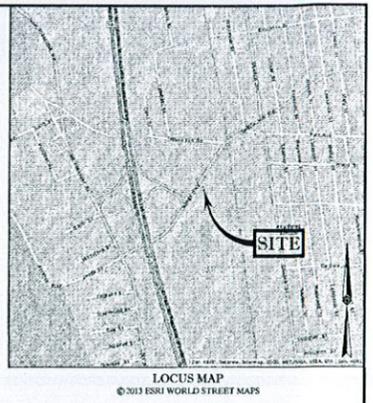


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 NORTH EAST REGION
 690 CANTON STREET
 WESTWOOD, MA

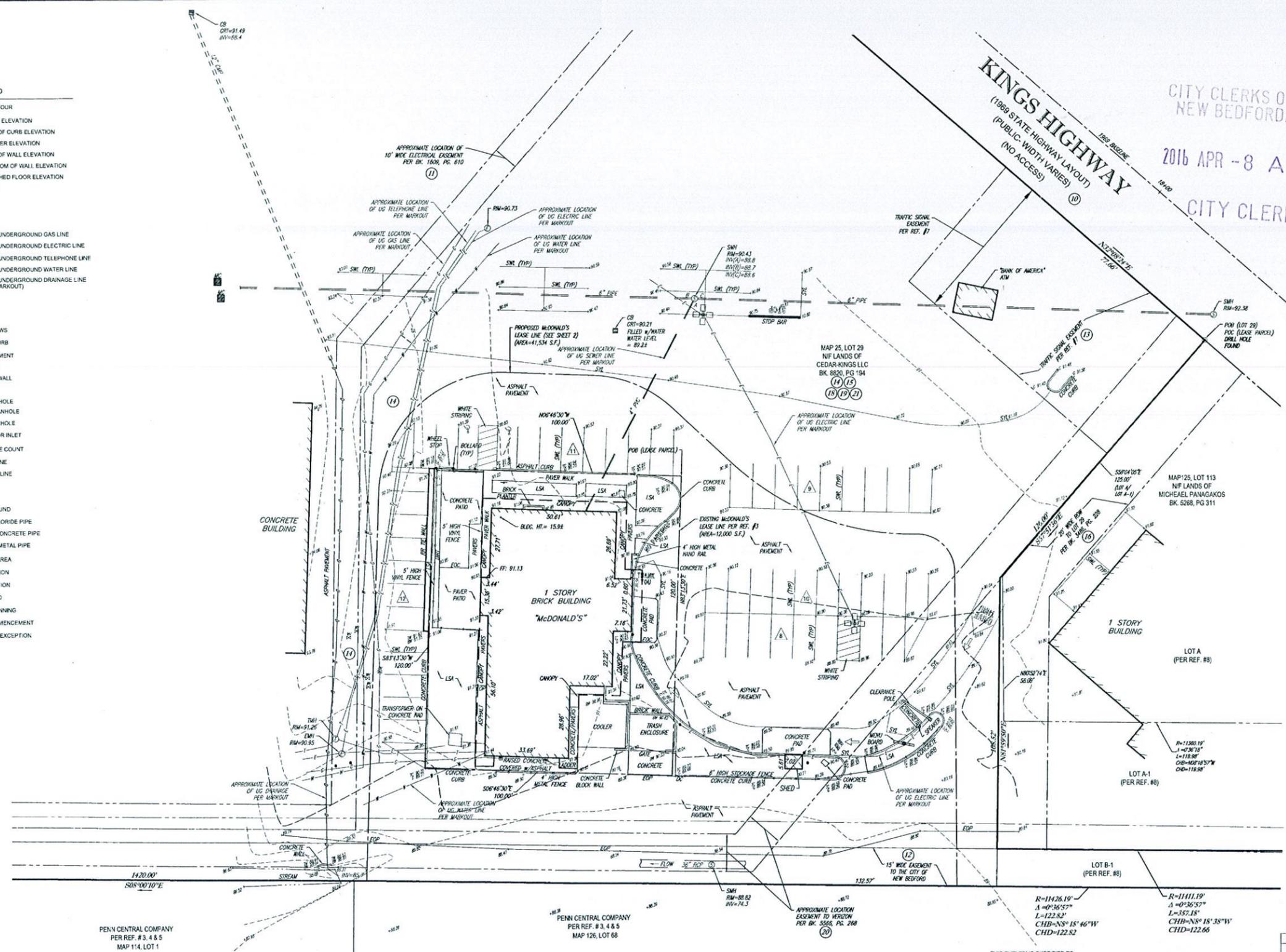
PLAN APPROVALS	DATE
SIGNATURE	
APPROVED NATIONAL ITS AGENT	

DEPARTMENT OF PUBLIC WORKS
 CASE 13-16 + 14-16

- LEGEND**
- 124 --- EXISTING CONTOUR
 - x 123.45 EXISTING SPOT ELEVATION
 - x 123.45 EXISTING TOP OF CURB ELEVATION
 - x 123.45 EXISTING GUTTER ELEVATION
 - x 123.45 EXISTING TOP OF WALL ELEVATION
 - x 123.45 EXISTING BOTTOM OF WALL ELEVATION
 - x 123.45 EXISTING FINISHED FLOOR ELEVATION
 - W WATER VALVE
 - G GAS VALVE
 - B GAS BOX
 - M GAS METER
 - C --- APPROX. LOC. UNDERGROUND GAS LINE
 - E --- APPROX. LOC. UNDERGROUND ELECTRIC LINE
 - T --- APPROX. LOC. UNDERGROUND TELEPHONE LINE
 - W --- APPROX. LOC. UNDERGROUND WATER LINE
 - D --- APPROX. LOC. UNDERGROUND DRAINAGE LINE (PER UTILITY MARKOUT)
 - AREA LIGHT
 - SIGN
 - BOLLARD
 - PAINTED ARROWS
 - DC DEPRESSED CURB
 - EOP EDGE OF PAVEMENT
 - MC METAL COVER
 - RRT WALL RAILROAD TIE WALL
 - (TYP) TYPICAL
 - EMH ELECTRIC MANHOLE
 - TMH TELEPHONE MANHOLE
 - UMH UNKNOWN MANHOLE
 - CB CATCH BASIN OR INLET
 - △ PARKING SPACE COUNT
 - SWL SOLID WHITE LINE
 - SYL SOLID YELLOW LINE
 - HT HEIGHT
 - BLDC BUILDING
 - DHF DRILL HOLE FOUND
 - PVC POLYVINYL CHLORIDE PIPE
 - RCP REINFORCED CONCRETE PIPE
 - CMP CORRUGATED METAL PIPE
 - LSA LANDSCAPED AREA
 - GRI GRATE ELEVATION
 - INV INVERT ELEVATION
 - UG UNDERGROUND
 - PGB POINT OF BEGINNING
 - POC POINT OF COMMENCEMENT
 - Ⓢ TITLE REPORT EXCEPTION



CITY CLERKS OFFICE
NEW BEDFORD, MA
2016 APR -8 A 7:57
CITY CLERK



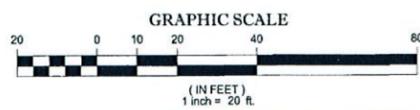
SEE SHEET 2 OF 2 FOR OVERALL BOUNDARY, NOTES, REFERENCES, EXHIBIT 'A' & PARCEL DESCRIPTIONS

No.	DESCRIPTION OF REVISION	FIELD CREW	DRAWN	APPROVED	DATE
3	ADDED SEWER AND STORM WATER FACILITIES	T.M./B.S.B.	S.P.P.	G.L.H.	07-16-15
2	ADDED PROPOSED LEASE PARCEL DESCRIPTION		S.P.P.	G.L.H.	06-14-15
1	ADDED LEASE PARCEL DESCRIPTION		S.P.P.	G.L.H.	04-15-15

THIS SURVEY IS CERTIFIED TO:
McDONALD'S USA, LLC
CHICAGO TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT WAS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(a), 7(a), 7(b)(1), 7(c), 8, 9, 11(b), 13, 14, 17 & 20(a) OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON NOVEMBER 20, 2014.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL.



GERRY L. HOLDRIGHT
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211

ALTA/ACSM LAND TITLE SURVEY
McDONALD'S USA, LLC
1800 KING'S HIGHWAY
LOT 29, MAP 125
CITY OF NEW BEDFORD, BRISTOL COUNTY
COMMONWEALTH OF MASSACHUSETTS
L/C# 020-0128

CONTROL POINT ASSOCIATES, INC. PLANNING
332 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
508.948.3000 - 508.948.3003 FAX
WARREN, NJ 908.606.0099
CHALFONT, PA 215.712.9800

FIELD DATE: 11-20-14
FIELD BOOK NO.: 14-06
FIELD BOOK PGS.: 17-18
FIELD CREW: B.S.B.
DRAWN: INDO-HCB
REVIEWED: J.L.S.
APPROVED: G.L.H.
DATE: 11-24-14
SCALE: 1"=20'
DATE: APR 08 2016

DEPARTMENT
C# 13-16+14-16

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THE COMMONWEALTH OF MASSACHUSETTS REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSONS BEFORE ANY TO DIG INTO THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH.

SHOPPING CENTER PARCEL

CERTAIN PARCELS OF UNREGISTERED LAND SITUATED IN THE CITY OF NEW BEDFORD, COUNTY OF BRISTOL AND COMMONWEALTH OF MASSACHUSETTS, DESCRIBED AS FOLLOWS:

THAT CERTAIN TRACT OR PARCEL OF LAND WITH ALL BUILDINGS AND IMPROVEMENTS SHOWN AS LOT B ON A PLAN DATED NOVEMBER 22, 1911 RECORDED WITH BRISTOL SOUTH REGISTRY OF DEEDS IN PLAN BOOK 86, PLAN NO. 69, THEREON SITUATED ON THE EASTERLY SIDE OF KING'S HIGHWAY (STATE ROUTE 140) IN THE CITY OF NEW BEDFORD, BRISTOL COUNTY, MASSACHUSETTS, IS HEREBY BOUND AND DESCRIBED:

BEGINNING AT THE MOST NORTHWESTERLY CORNER OF THE HEREIN DESCRIBED PARCEL SAID CORNER BEING LOCATED S32°08'24"W TWO HUNDRED THIRTY FOUR AND 00/100 (234.00') FROM THE INTERSECTION OF THE EASTERLY HIGHWAY LINE OF KING'S HIGHWAY WITH THE WESTERLY LINE OF LAND NOW OR FORMERLY OF THE PENN CENTRAL RAILROAD;

THENCE PROCEEDING S58°04'05"E A DISTANCE OF ONE HUNDRED TWENTY FIVE AND 00/100 (58.00') FEET TO A POINT;

THENCE PROCEEDING N80°52'14"E A DISTANCE OF FIFTY EIGHT AND 00/100 (58.00') FEET TO A POINT;

THENCE PROCEEDING ALONG THE CHORD OF AN ARC N08°18'57"W A DISTANCE OF ONE HUNDRED NINETEEN AND 96/100 (119.88') FEET TO A POINT, SAID ARC HAVING A RADIUS OF ELEVEN THOUSAND FOUR HUNDRED TWENTY SIX AND 18/100 (11428.18') FEET AND AN ARC LENGTH OF ONE HUNDRED TWENTY TWO AND 82/100 (122.82)';

THENCE PROCEEDING N81°22'53"E A DISTANCE OF SIXTY SIX AND 00/100 (66.00') FEET TO A POINT;

THENCE PROCEEDING ALONG THE CHORD OF AN ARC S05°18'48"E A DISTANCE OF ONE HUNDRED TWENTY TWO AND 82/100 (122.82) FEET TO A POINT, SAID ARC HAVING A RADIUS OF ELEVEN THOUSAND FOUR HUNDRED TWENTY SIX AND 18/100 (11428.18') FEET AND AN ARC LENGTH OF ONE HUNDRED TWENTY TWO AND 82/100 (122.82)';

THENCE PROCEEDING S08°06'10"E A DISTANCE OF ONE THOUSAND FOUR HUNDRED TWENTY AND 00/100 (1420.00') FEET TO A POINT, THE LAST THREE COURSES BOUNDED NORTHERLY AND EASTERLY BY LAND NOW OR FORMERLY OF THE PENN CENTRAL RAILROAD;

THENCE PROCEEDING S81°59'50"W A DISTANCE OF FOUR HUNDRED TWELVE AND 00/100 (412.00') FEET TO A POINT;

THENCE PROCEEDING N95°00'10"W A DISTANCE OF FOUR HUNDRED ELEVEN AND 28/100 (411.28') FEET TO A POINT;

THENCE PROCEEDING N58°32'07"W A DISTANCE OF THIRTY SEVEN AND 58/100 (37.58') FEET TO A POINT;

THENCE PROCEEDING N10°08'29"W A DISTANCE OF THREE HUNDRED SIXTY AND 00/100 (360.00') FEET TO A POINT;

THENCE PROCEEDING N57°50'22"W A DISTANCE OF TWO HUNDRED SEVENTY SIX AND 00/100 (276.00') TO A POINT ON THE EASTERLY SIDE OF KING'S HIGHWAY SO CALLED, THE LAST FIVE COURSES BOUNDED SOUTHERLY, WESTERLY, SOUTHERLY, WESTERLY AND SOUTHERLY BY LAND NOW OR FORMERLY OF FIRST BRISTOL CORPORATION, TRUSTEE OF FIELDSTONE REALTY TRUST;

THENCE PROCEEDING N32°08'24"E ALONG THE EASTERLY HIGHWAY LINE OF KING'S HIGHWAY SO CALLED A DISTANCE OF THIRTY SEVEN AND 72/100 (37.72') FEET TO A MASSACHUSETTS HIGHWAY BOUND FOUND;

THENCE CONTINUING N32°08'24"E ALONG THE SAID HIGHWAY LINE A DISTANCE OF FIVE HUNDRED SEVENTY SIX AND 18/100 (576.18') FEET TO THE POINT, SAID HIGHWAY BOUND FOUND, THIRTY THREE AND 00/100 (33.00') FEET RIGHT OF STATION +75.00';

THENCE CONTINUING N32°08'24"E ALONG SAID HIGHWAY LINE A DISTANCE OF SEVENTY SEVEN AND 66/100 (77.66') FEET TO THE POINT AND PLACE OF BEGINNING.

SAID PARCEL CONTAINS 15,348 SQUARE METERS OR LESS.

SQUARE FOOTAGE IS NOT INSURED.

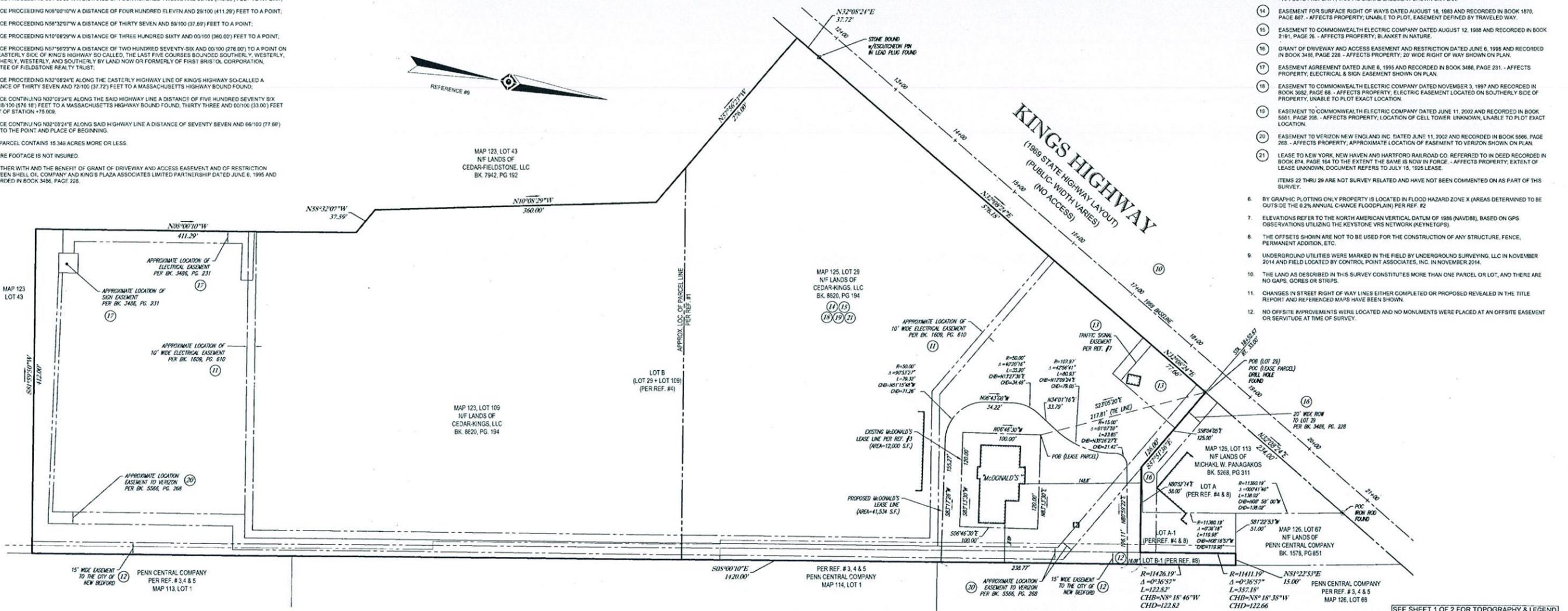
TOGETHER WITH AND THE BENEFIT OF GRANT OF DRIVEWAY AND ACCESS EASEMENT AND OF RESTRICTION BETWEEN SHELL OIL COMPANY AND KING'S PLAZA ASSOCIATES LIMITED PARTNERSHIP DATED JUNE 6, 1995 AND RECORDED IN BOOK 3486, PAGE 228.

SURVEYOR'S METES AND BOUNDS DESCRIPTION

EXISTING McDONALD'S LEASE AREA A PORTION OF MAP 125, LOT 29 CITY OF NEW BEDFORD, BRISTOL COUNTY COMMONWEALTH OF MASSACHUSETTS COMMENCING AT A DRILL HOLE FOUND ON THE NORTHEASTERLY LINE OF KING'S HIGHWAY (1989 STATE HIGHWAY LAYOUT, PUBLIC - WIDTH VARIES) AT A POINT 33.00 FEET RIGHT OF STATION, 16-52.67, SAID POINT ALSO BEING THE NORTHERLY MOST CORNER OF MAP 125, LOT 29 (NF LANDS OF CEDAR-KINGS, LLC) AND FROM SAID POINT OF COMMENCEMENT RUNNING THROUGH SAID LOT 29 SOUTH 23 DEGREES - 05 MINUTES - 20 SECONDS EAST, A DISTANCE OF 217.81 FEET TO THE NORTHWESTERLY MOST CORNER OF THE LEASE AREA DESCRIBED HEREIN, THENCE RUNNING THROUGH SAID LOT 29 THE FOLLOWING FOUR (4) COURSES;

- 1. NORTH 83 DEGREES - 13 MINUTES - 30 SECONDS EAST, A DISTANCE OF 120.00 FEET TO A POINT, THENCE;
2. SOUTH 6 DEGREES - 46 MINUTES - 30 SECONDS EAST, A DISTANCE OF 100.00 FEET TO A POINT, THENCE;
3. SOUTH 83 DEGREES - 13 MINUTES - 30 SECONDS WEST, A DISTANCE OF 120.00 FEET TO A POINT, THENCE;
4. NORTH 6 DEGREES - 46 MINUTES - 30 SECONDS WEST, A DISTANCE OF 100.00 FEET TO THE POINT AND PLACE OF BEGINNING.

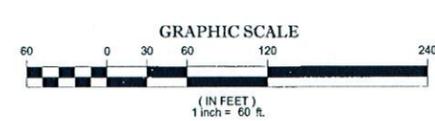
CONTAINING 12,800 SQUARE FEET OR 0.275 ACRES



CITY CLERKS OFFICE NEW BEDFORD, MA 2016 APR -8 A 7:57 CITY CLERK

- NOTES: 1. PROPERTY KNOWN AS LOT 29 ON THE CITY OF NEW BEDFORD, BRISTOL COUNTY, COMMONWEALTH OF MASSACHUSETTS TAX MAP # 125. 2. McDONALD'S LEASE AREA = 12,000 SQUARE FEET OR 0.275 ACRES. LOTS 29 & 109 = 68,172 SQUARE FEET OR 15.201 ACRES. 3. LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARK-OUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED. 4. THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON. 5. THIS SURVEY IS PREPARED WITH REFERENCE TO A TITLE REPORT PREPARED BY CHICAGO TITLE INSURANCE COMPANY, COMMITMENT NO. 14-48342, WITH AN EFFECTIVE DATE OF 10/17/14, WHERE THE FOLLOWING SURVEY RELATED EXCEPTIONS APPEAR IN SCHEDULE B, SECTION II: GENERAL EXCEPTIONS 1-9 HAVE NOT BEEN COMMENTED ON AS PART OF THIS SURVEY. 10. NON-ACCESS PROVISIONS OF LAYOUT NO. 5815 AND ORDER OF TAKING DATED AUGUST 14, 1969 AND RECORDED IN BOOK 1658, PAGE 834. - AFFECTS PROPERTY; KING'S HIGHWAY SHOWN ON PLAN. 11. EASEMENT TO NEW BEDFORD GAS AND EDISON LIGHT COMPANY DATED OCTOBER 28, 1970 AND RECORDED IN BOOK 1659, PAGE 610. - AFFECTS PROPERTY; APPROXIMATE LOCATION OF GAS AND ELECTRICAL EASEMENT SHOWN ON PLAN. 12. TAKING BY THE CITY OF NEW BEDFORD FOR SEWER AND SURFACE DRAINS AND WATER SERVICES DATED DECEMBER 29, 1980 AND RECORDED IN BOOK 1816, PAGE 90. - AFFECTS PROPERTY; 15' WIDE EASEMENT SHOWN ON PLAN. 13. CONDITIONAL GRANT OF EASEMENT DATED FEBRUARY 9, 1982 AND RECORDED IN BOOK 1842, PAGE 51. - AFFECTS PROPERTY; TRAFFIC SIGNAL EASEMENT SHOWN ON PLAN. 14. EASEMENT FOR SURFACE RIGHT OF WAYS DATED AUGUST 18, 1983 AND RECORDED IN BOOK 1870, PAGE 887. - AFFECTS PROPERTY; UNABLE TO PLOT; EASEMENT DEFINED BY TRAVELED WAY. 15. EASEMENT TO COMMONWEALTH ELECTRIC COMPANY DATED AUGUST 12, 1988 AND RECORDED IN BOOK 2191, PAGE 26. - AFFECTS PROPERTY; BLANKET IN NATURE. 16. GRANT OF DRIVEWAY AND ACCESS EASEMENT AND RESTRICTION DATED JUNE 6, 1995 AND RECORDED IN BOOK 3486, PAGE 228. - AFFECTS PROPERTY; 20' WIDE RIGHT OF WAY SHOWN ON PLAN. 17. EASEMENT AGREEMENT DATED JUNE 6, 1995 AND RECORDED IN BOOK 3486, PAGE 231. - AFFECTS PROPERTY; ELECTRICAL & SIGN EASEMENT SHOWN ON PLAN. 18. EASEMENT TO COMMONWEALTH ELECTRIC COMPANY DATED NOVEMBER 3, 1997 AND RECORDED IN BOOK 3682, PAGE 68. - AFFECTS PROPERTY; ELECTRICAL EASEMENT LOCATED ON SOUTHERLY SIDE OF PROPERTY, UNABLE TO PLOT EXACT LOCATION. 19. EASEMENT TO COMMONWEALTH ELECTRIC COMPANY DATED JUNE 11, 2002 AND RECORDED IN BOOK 5561, PAGE 208. - AFFECTS PROPERTY; LOCATION OF CELL TOWER UNKNOWN, UNABLE TO PLOT EXACT LOCATION. 20. EASEMENT TO VERIZON NEW ENGLAND INC. DATED JUNE 11, 2002 AND RECORDED IN BOOK 5566, PAGE 268. - AFFECTS PROPERTY; APPROXIMATE LOCATION OF EASEMENT TO VERIZON SHOWN ON PLAN. 21. LEASE TO NEW YORK, NEW HAVEN AND HARTFORD RAILROAD CO. REFERRED TO IN DEED RECORDED IN BOOK 874, PAGE 184 TO THE EXTENT THE SAME IS NOW IN FORCE. - AFFECTS PROPERTY; EXTENT OF LEASE UNKNOWN, DOCUMENT REFERS TO JULY 15, 1925 LEASE. ITEMS 22 THRU 29 ARE NOT SURVEY RELATED AND HAVE NOT BEEN COMMENTED ON AS PART OF THIS SURVEY. 6. BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF. #2. 7. ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD86), BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS). 8. THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC. 9. UNDERGROUND UTILITIES WERE MARKED IN THE FIELD BY UNDERGROUND SURVEYING, LLC IN NOVEMBER 2014 AND FIELD LOCATED BY CONTROL POINT ASSOCIATES, INC. IN NOVEMBER 2014. 10. THE LAND AS DESCRIBED IN THIS SURVEY CONSTITUTES MORE THAN ONE PARCEL OR LOT, AND THERE ARE NO GAPS, GORES OR STRIPS. 11. CHANGES IN STREET RIGHT OF WAY LINES EITHER COMPLETED OR PROPOSED REVEALED IN THE TITLE REPORT AND REFERENCED MAPS HAVE BEEN SHOWN. 12. NO OFFSITE IMPROVEMENTS WERE LOCATED AND NO MONUMENTS WERE PLACED AT AN OFFSITE EASEMENT OR SERVITUDE AT TIME OF SURVEY.

CONTROL POINT ASSOCIATES, INC. ALL RIGHTS RESERVED. ORIGINAL PROJECT OF THE SURVEYOR. THIS SURVEY IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF CONTROL POINT ASSOCIATES, INC.



THIS SURVEY IS CERTIFIED TO: McDONALD'S USA, LLC CHICAGO TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT WAS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(B), 7(A), 7(B), 7(C), 8, 9, 11(B), 13, 14, 17 & 20(a) OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON NOVEMBER 20, 2014.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL

GERRY L. HOLDRIGHT MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211

Table with 3 columns: No., Description of Revision, Date. Row 1: 1, ADDED LEASE PARCEL DESCRIPTION, 04-15-15. Row 2: 2, ADDED PROPOSED LEASE PARCEL DESCRIPTION, 05-14-15. Row 3: 3, ADDED SEWER AND STORM WATER FACILITIES, 07-06-15.

ALTA/ACSM LAND TITLE SURVEY McDonald's USA, LLC 1080 KING'S HIGHWAY LOTS 29 & 109, MAP 125 CITY OF NEW BEDFORD, BRISTOL COUNTY COMMONWEALTH OF MASSACHUSETTS CONTROL POINT ASSOCIATES, INC. 352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 WARREN, NJ 908.668.0099

CM 13-16 +14-16