



DEPARTMENT OF INFORMATIONAL SERVICES
133 WILLIAM STREET – ROOM 308
NEW BEDFORD, MA 02740

CITY OF NEW BEDFORD
JONATHAN F. MITCHELL, MAYOR

New Bedford Comprehensive Zoning Code Review Code of Ordinances – Chapter-9

168 Grinnell St. PLOT: 36 – LOT: 203 – ZONED DISTRICT: RB

Finding Required from the Zoning Board of Appeals

Zoning Code Review as follows:

❖ SECTION

- 2400 Non Conforming Uses And Structures
- 2410 Applicability
- 2440 Non Conforming Single-And Two-Family Structures

IX. HOMEOWNER LICENSE EXEMPTION

Supplement #1

The current exemption for "homeowner" was extended to include owner-occupied dwellings of two units or less and to allow such homeowners to engage an individual for hire who does not possess a license, provided that the owner acts as supervisor. (State Building Code Section 110.5)

DEFINITION OF HOMEOWNER:

Person(s) who own a parcel of land on which he/she resides or intends to reside, on which there is, or is intended to be, a one to two family dwelling, attached or detached structures accessory to such use and /or farm structures. A person who constructs more than one home in a two-year period shall not be considered a homeowner. Such "homeowner shall submit to the Building Official, on a form acceptable to the Building Official, that he/she shall be responsible for all such work performed under the building permit. (Section 110.5)

The undersigned "homeowner assumes responsibility for compliance with the State Building Code and other applicable codes, ordinance, rules and regulations, and will comply with the City of New Bedford Building Department minimum inspection procedures and requirements.

HOMEOWNERS SIGNATURE _____

X. CONSTRUCTION DEBRIS DISPOSAL

Supplement #2

In accordance with provisions of Massachusetts General Law C40, S54, debris resulting from this work shall be disposed of in a properly licensed solid waste disposal facility as defined by Massachusetts General Law C111, S150A

The debris will be disposed of in: _____
(Location of Facility)

Signature of Permit Applicant _____

Date _____

XI. HOME IMPROVEMENT CONTRACTOR LAW AFFIDAVIT

(Residential Use Only) Supplement to Permit Application

Supplement #3

MGLC. 142 A requires that the "reconstruction, alteration, renovation, repair, modernization, conversion, improvement, removal, demolition, or construction of an addition to any pre-existing owner-occupied building containing at least one but not more than four dwelling units... or to structures which are adjacent to such residence of building" be conducted by registered contractors, with certain exceptions, along with other requirements.

Type of Work: ADDITION Est. Cost \$75,000

Address of Work _____

Owner Name: _____ Date of Permit Application: _____

I hereby certify that: Registration is not required for the following reason(s):

_____ Work excluded by law _____ Job under \$1,000 _____ Building not owner-occupied _____ Owner obtaining own permit

Other (specify) _____

Notice is hereby given that:

OWNERS OBTAINING THEIR OWN PERMIT OR EMPLOYING UNREGISTERED CONTRACTORS FOR APPLICABLE HOME IMPROVEMENT WORK DO NOT HAVE ACCESS TO THE ARBITRATION PROGRAM OF GUARANTY FUND UNDER MGLC. 142A.

signed under penalties of perjury:

I hereby apply for a permit as the agent of the owner:

Date _____ Contractor Signature _____ Registration No. _____

OR: _____

Notwithstanding the above notice, I hereby apply for a permit as the owner of the above property:

Date _____ Owner Signature _____

XII. BUILDING COMMISSIONERS REVIEW COMMENTS AND CONDITIONS

C. Building Permit Rejected <input checked="" type="checkbox"/> <u>FINDING</u>	Fee
Reason For Rejection: <u>SEE ATTACHMENTS</u>	Permit #

Comments and Conditions:

Signed Danny A. Romanowicz Date: _____ 20____

Title Building Commissioner

Not valid unless signed (not stamped) by Building Commissioner

2339. Barbed Wire. Barbed wire is prohibited in all residential zones, or on property lines abutting residential zones below a height of eight (8) feet above grade.

2339A. Structures used for kennels or the housing of animals. Any structure used for a kennel or for the housing of animals shall be located at least twelve (12) feet from any lot line, street line or dwelling and shall not extend into any front yard or beyond the front sidewall of any dwelling.

(Ord. of 12-23-03, § 1; Ord. of 11-12-04, § 1)

2340. Accessory Dwelling Units. For the purpose of enabling owners of single-family dwellings larger than required for their present needs, particularly elderly homeowners, to share space and the burdens of home ownership, the Board of Appeals may grant a special permit in accordance with the following requirements:

2341. Accessory dwelling units may be allowed on special permit, which shall lapse every two (2) years, in accordance with Section 5300, and provided that each of the following additional criteria are met.

2342. A plot plan, prepared by a registered land surveyor, of the existing dwelling unit and proposed accessory dwelling unit shall be submitted, showing the location of the building on the lot, proposed accessory dwelling unit, location of any septic system and required parking. A mortgage inspection survey, properly adapted by a surveyor, shall be sufficient to meet this requirement;

2343. Certification by affidavit shall be provided that while said accessory dwelling unit is occupied, the primary dwelling until shall be occupied by the owner of the property;

2344. Not more than one accessory dwelling unit may be established on a lot. The accessory dwelling unit shall not exceed one thousand (1,000) square feet in floor space and shall be located in the existing residential structure on the premises;

2345. The external appearance of the structure in which the accessory dwelling unit is to be located shall not be significantly altered from the appearance of a single-family structure, in accordance with the following:

2345.a. Any accessory dwelling unit construction shall not create more than a fifteen (15) percent increase in the gross floor space of the structure existing as of date of enactment, December 23, 2003.

2345.b. Any stairways or access and egress alterations serving the accessory dwelling unit shall be enclosed, screened, or located so that visibility from public ways is minimized.

2345.c. Sufficient and appropriate space for at least one additional parking space shall be constructed by the owner to serve the accessory dwelling unit. Said parking space shall be constructed of materials consistent with the existing driveway and shall have vehicular access to the driveway.

2346. The initial term and subsequent terms of a special permit for an accessory dwelling unit shall expire after two (2) years. In the event such special permit is not renewed, the Board of Appeals shall promptly notify the Inspector of Buildings. Subsequent special permit issuances for existing accessory dwelling unit, if any, shall be granted after certification by affidavit is made by the applicant that the accessory dwelling unit has not been extended, enlarged, or altered to increase its original dimensions, as defined in the initial special permit application, and that the need for the special permit still exists and there has been no change in the use or circumstances for which the special permit was originally granted.

2347. Special permits for an accessory dwelling unit may be issued, after a public hearing, upon a finding that the construction and occupancy of the apartment will not be detrimental to the neighborhood in which the lot is located and after consideration of the factors specified in Section 5300 herein.

(Ord. of 12-23-03, § 1)

2400. - NONCONFORMING USES AND STRUCTURES.

2410. Applicability. This Zoning Ordinance shall not apply to structures or uses lawfully in existence or lawfully begun, or to a building or special permit issued before the first publication of notice of the public hearing required by M.G.L.A. c. 40A, § 5, at which this Zoning Ordinance, or any relevant part thereof, was adopted. Such prior, lawfully existing nonconforming uses and structures may continue, provided that no modification of the use or structure is accomplished, unless authorized hereunder.

(Ord. of 12-23-03, § 1)

2420. Nonconforming Uses. The Board of Appeals may award a special permit to change a nonconforming use in accordance with this Section only if it determines that such change or extension shall not be substantially more



City of New Bedford, Massachusetts
 Building Department
 Application for Plan Examination
 and Building Permit

FOR BUILDING DEPT. USE

DATE RECEIVED: _____

RECEIVED BY: _____

ISSUED BY: _____

IMPORTANT — COMPLETE ALL ITEMS — MARK BOXES WHERE APPLICABLE — PRINT

Permit No. _____
 Completion Date _____

(AT LOCATION) 168 GRINNELL
 (NO) (STREET)
 BETWEEN _____ AND _____
 (CROSS STREET) (CROSS STREET)
 PLOT 36-203 LOT 203 DISTRICT B ACCEPTED STREET _____
 PLANS FILED. YES NO

II. TYPE AND COST OF BUILDING — all applicants complete parts A through D — PRINT

<p>A. TYPE OF IMPROVEMENT</p> <p>1 <input type="checkbox"/> New Building</p> <p>2 <input checked="" type="checkbox"/> Addition (If residential, enter number of new housing units added, if any, in Part D, 14)</p> <p>3 <input type="checkbox"/> Alteration (If residential, enter number of new housing units added, if any, in Part D, 14)</p> <p>4 <input checked="" type="checkbox"/> Repair, replacement</p> <p>5 <input type="checkbox"/> Demolition (If multifamily residential, enter number of units in building in Part D, 14, if non-residential, indicate most recent use checking D-18 - D-32)</p> <p>6 <input type="checkbox"/> Moving (relocation)</p> <p>7 <input type="checkbox"/> Foundation only</p>	<p>D1 PROPOSED USE — For demolition most recent use</p> <p><i>Residential</i></p> <p>13 <input checked="" type="checkbox"/> One family</p> <p>14 <input type="checkbox"/> Two or more family — Enter number of units _____</p> <p>15 <input type="checkbox"/> Transient hotel, motel, or dormitory — Enter number of units _____</p> <p>16 <input type="checkbox"/> Garage</p> <p>17 <input type="checkbox"/> Carport</p> <p>18 <input type="checkbox"/> Other — Specify _____</p> <p><i>Nonresidential</i></p> <p>19 <input type="checkbox"/> Amusement, recreational</p> <p>20 <input type="checkbox"/> Church, other religious</p> <p>21 <input type="checkbox"/> Industrial</p> <p>22 <input type="checkbox"/> Parking garage</p> <p>23 <input type="checkbox"/> Service station, repair garage</p> <p>24 <input type="checkbox"/> Hospital, institutional</p> <p>25 <input type="checkbox"/> Office, bank, professional</p> <p>26 <input type="checkbox"/> Public utility</p> <p>27 <input type="checkbox"/> School, library, other educational</p> <p>28 <input type="checkbox"/> Stores, mercantile</p> <p>29 <input type="checkbox"/> Tanks, towers</p> <p>30 <input type="checkbox"/> Funeral homes</p> <p>31 <input type="checkbox"/> Food establishments</p> <p>32 <input type="checkbox"/> Other — Specify _____</p>
<p>B. OWNERSHIP</p> <p>8 <input checked="" type="checkbox"/> Private (individual, corporation, nonprofit institution, etc.)</p> <p>9 <input type="checkbox"/> Public (Federal, State, or local government)</p>	<p>D.2. Does this building contain asbestos?</p> <p><input checked="" type="checkbox"/> YES <input type="checkbox"/> NO If yes complete the following: Name & Address of Asbestos Removal Firm: <u>Exterior Shingles Removal not planned</u></p> <p>Submit copy of notification sent to DECE and the State Dept. of Labor & Industries and results of air sample analysis after asbestos removal is completed.</p>
<p>C. COST (Omit cents)</p> <p>10. Cost of construction \$ _____ To be installed but not included in the above cost</p> <p>a. Electrical</p> <p>b. Plumbing</p> <p>c. Heating, air conditioning</p> <p>d. Other (elevator, etc.)</p> <p>11. TOTAL VALUE OF CONSTRUCTION <u>75,000</u></p> <p>12. TOTAL ASSESSED BLDG. VALUE <u>31,900</u></p>	<p>D.3. Non-residential — Describe in detail proposed use of buildings, e.g., food processing plant, machine shop, laundry building at hospital, elementary school, secondary school, college, parochial school, parking garage for department store, rental office building, office building at industrial plant. If use of existing building is being changed, enter proposed use.</p>

III. SELECTED CHARACTERISTICS OF BUILDING — For new buildings complete part E through I. For demolition, complete only parts G, H & I. For all others, (additions, alterations, repair, moving, foundation), complete E through I.

<p>E. PRINCIPAL TYPE OF FRAME</p> <p>33 <input type="checkbox"/> Masonry (wall bearing)</p> <p>34 <input checked="" type="checkbox"/> Wood frame</p> <p>35 <input type="checkbox"/> Structural steel</p> <p>36 <input type="checkbox"/> Reinforced concrete</p> <p>37 <input type="checkbox"/> Other — Specify _____</p>	<p>G. TYPE OF SEWAGE DISPOSAL</p> <p>43 <input checked="" type="checkbox"/> Public or private company</p> <p>44 <input type="checkbox"/> Private (septic tank, etc.)</p>	<p>J. DIMENSIONS</p> <p>53 Number of stories _____</p> <p>54 Height _____</p> <p>55 Total square feet of floor area, all floors based on exterior dimensions _____</p> <p>56 Building length _____</p> <p>57 Building width _____</p> <p>58 Total sq. ft. of bldg. footprint _____</p> <p>59 Front lot line width _____</p> <p>60 Rear lot line width _____</p> <p>61 Depth of lot _____</p> <p>62 Total sq. ft. of lot size _____</p> <p>63 % of lot occupied by bldg. (58-62) _____</p> <p>64 Distance from lot line (front) _____</p> <p>65 Distance from lot line (rear) _____</p> <p>66 Distance from lot line (left) _____</p> <p>67 Distance from lot line (right) _____</p>
<p>F. PRINCIPAL TYPE OF HEATING FUEL</p> <p>38 <input checked="" type="checkbox"/> Gas</p> <p>39 <input type="checkbox"/> Oil</p> <p>40 <input type="checkbox"/> Electricity</p> <p>41 <input type="checkbox"/> Coal</p> <p>42 <input type="checkbox"/> Other — Specify _____</p>	<p>H. TYPE OF WATER SUPPLY</p> <p>45 <input checked="" type="checkbox"/> Public or private company</p> <p>46 <input type="checkbox"/> Private (well, cistern)</p> <p>I. TYPE OF MECHANICAL</p> <p>Is there a fire sprinkler system?</p> <p>47 <input type="checkbox"/> YES 48 <input checked="" type="checkbox"/> NO</p> <p>Will there be central air conditioning?</p> <p>49 <input type="checkbox"/> Yes 50 <input checked="" type="checkbox"/> No</p> <p>Will there be an elevator?</p> <p>51 <input type="checkbox"/> Yes 52 <input checked="" type="checkbox"/> No</p>	

OTHER APPLICABLE REVIEW

K. FLOODPLAIN

Is location within flood hazard area? yes no

If yes, zone : _____ and base elevation _____

L. WETLANDS PROTECTION

Is location subject to flooding? _____

Is location part of a known wetland? _____

Has local conservation commission reviewed this site? _____

IV. IDENTIFICATION - ALL APPLICANTS - PLEASE PRINT			
OWNER OR LESSEE NAME	MAILING ADDRESS	ZIP CODE	TELEPHONE NO.
VIRGULINO L. DUARTE	168 GRINWELL Street	02740	508 993 9650
CONTRACTOR NAME	MAILING ADDRESS	ZIP CODE	TELEPHONE NO.
		LICENSE #	
EMAIL		HOME IMP #	
ARCHITECT NAME	MAILING ADDRESS	ZIP CODE	TELEPHONE NO.
		LICENSE #	
SIGNATURE OF OWNER	APPLICANT SIGNATURE	DATE	
<i>[Signature]</i>	<i>[Signature]</i>	10/1/2015	

Omission of reference to any provision shall not nullify any requirement of this code nor exempt any structure from such requirement.

The applicants understands and warrant that they will comply with all pertinent federal and state statutes, local ordinances and all federal, state, and local regulations, including those of the Architectural Barriers board, Department of Environmental Protection Agency and may be forwarded for review to all pertinent local city agencies which may express specific concerns. It is understood that the issuance of a permit shall not serve as an acceptance or acknowledgment of compliance nor exempt any structure from such requirement. The permit shall be a license to proceed with the work and shall not be construed as authority to violate, cancel, or set aside any of the provisions of the State Building Code or local code of ordinances, except as specifically stipulated by modification or legally granted variation in accordance with Section 122.0 of State Building Code or local code of ordinances.

I have read the above and sign under pain and penalty of perjury as to the truth of all of the information and statements contained in sections I through IV of this application.

[Signature] + 168 GRINWELL ST New Bedford
 Applicant's Signature Address City

V. OTHER JURISDICTION APPROVALS AND NOTIFICATION

APPROVAL	CHECK	DATE OBTAINED	By
Electrical			
Plumbing			
Fire Department			
Water			
Planning			
Conservation			
Public Works			
Health			
Licensing			
Other			

VI. ZONING REVIEW

DISTRICT: _____ USE: _____

FRONTAGE: _____ LOT SIZE: _____

SETBACKS: _____

FRONT: _____ LEFT SIDE: _____ RIGHT SIDE: _____ REAR: _____

PERCENTAGE OF LOT COVERAGE PRIMARY BUILDING _____

VARIANCE HISTORY _____

VII. WORKER'S COMPENSATION INSURANCE AFFIDAVIT

I, _____
 (licensee/permittee) with a principal place of business/residence at:

 (City/State/Zip) do hereby certify, under the pains and penalties of perjury, that:

I am an employer providing worker's compensation coverage for my employees working on this job.

 Insurance Company Policy Number

I am a sole proprietor and have no one working for me.

I am a sole proprietor, general contractor, or homeowner and have hired the contractors listed below who have the following worker's compensation insurance policies:

 Name of contractor Insurance Company/policy number

 Name of contractor Insurance Company/policy number

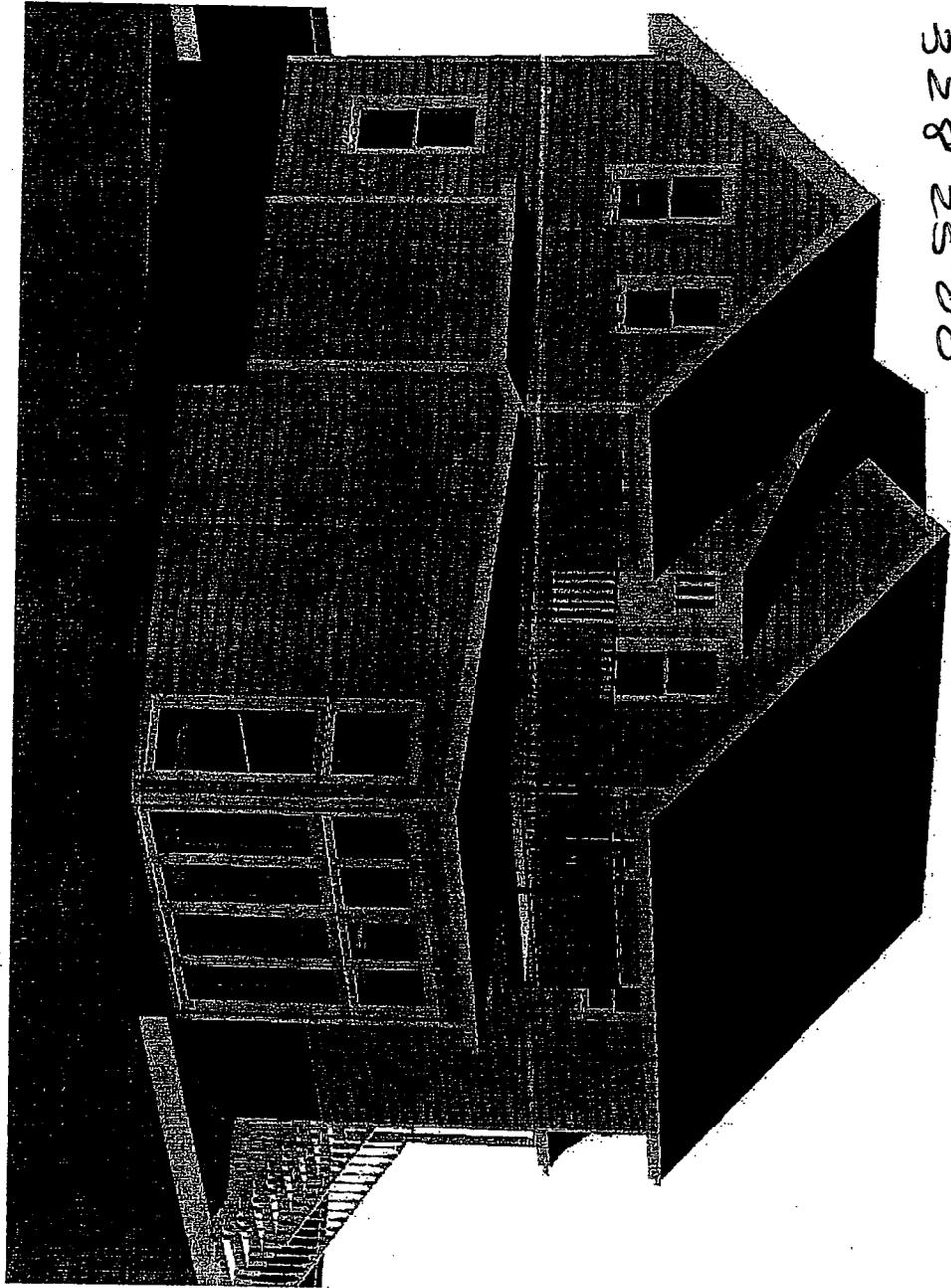
I am a homeowner performing all the work myself.

NOTE: Please be aware that while homeowners who employ persons to do maintenance, construction or repair work on a dwelling of not more than three units in which the homeowner also resides or on the grounds appurtenant thereto are not generally considered to be employers under the Workers' Compensation Act (GL. C. 152, sect. 1(5)), application by a homeowner for a license or permit may evidence the legal status of an employer under the Workers' Compensation Act.

I understand that a copy of this statement will be forwarded to the Department of Industrial Accidents' Office of Insurance for coverage verification and that failure to secure coverage as required under Section 25A of MGL 152 can lead to the imposition of criminal penalties consisting of a fine of up to \$1500.00 and/or imprisonment of up to one year and civil penalties in the form of a Stop Work Order and a fine of \$100.00 a day against me.

Signed this _____ day of _____, 2015

Vic DUARTE
VIRGILINO L. Duarte
508 993 9650
774 328 2500



SHEET NUMBER

A-2

SCALE: SEE VIEW

DATE:
10/7/2014
DRAWN BY: DCCS

Owner: Duarte Family

Address 168 Grinnel St,
New Bedford, Massachusetts

Perspective 2

Design Construction & Consulting Services

74 Howland Street, Boston, MA. 02121
(617) 541 0991



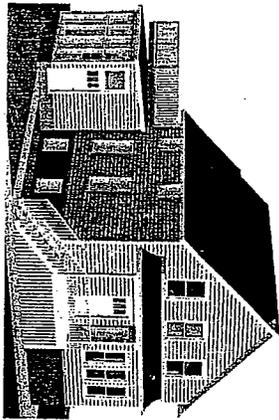
Home Additions 168 Grinnel St, New Bedford, Massachusetts.

Sheet Listing

- A-0 Title Sheet
- SP-1 Site Plan
- A-1 Perspective 1
- A-2 Perspective 2
- A-3 Existing Floor Plans
- A-4 Proposed Floor Plans
- A-5 Exterior Elevations
- A-6 Cross Sections

Typical Symbols

	Exist. Foundation Wall
	Remove Exist. Wall
	New Wall
	Exist. Wall
	New 2hr Fire Rated Wall
	Smoke Detector
	Heat Detector
	Emergency Light
	Battery Back-up
	Exterior Motion Detector Light
	Water Meter
	Gas Meter
	Electrical Panel
	Surface Mounted Fluorescent Light Fixture 2-4'-0" Tubes
	Flush Mounted Fluorescent Light Fixture 2-4'-0" Tubes
	Duplex Electrical Outlet (EO)
	Grounding Fault Circuit Interrupt EO
	Light Switch
	Light Switch 3-Way
	Bathroom Fan & Light Fixture



General Notes

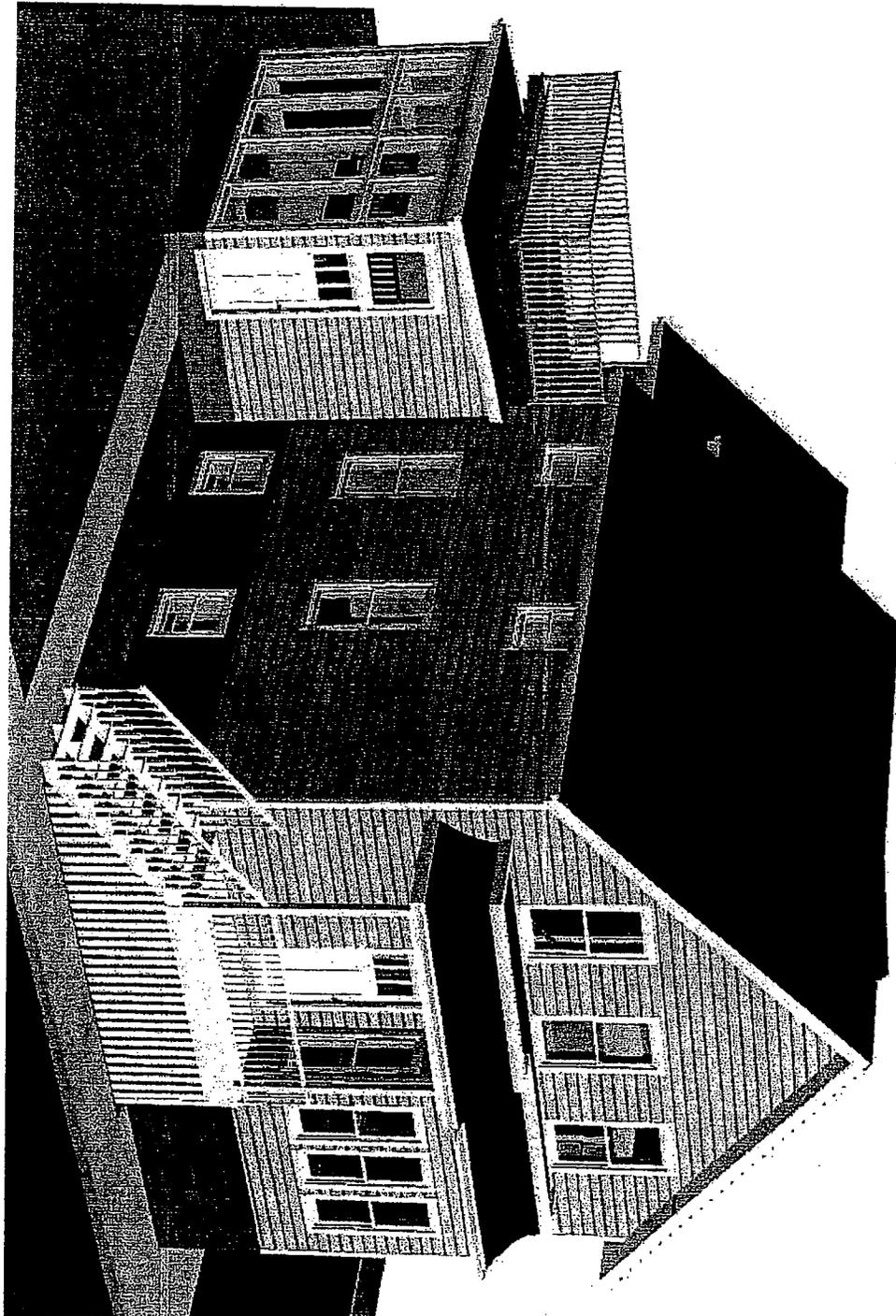
1. All dimensions to be field verified, notify owner/designer of any discrepancies.
2. Refer to specifications and schedules for further description of work delineated here if applicable.
3. All new construction shall conform to all federal, state and city rules & regulations.
4. Dimensions on drawings are approximate and may need to be adjusted to conform with conditions encountered in the field.
5. Contractor shall visit the site to verify all existing conditions.
6. Contractor may make minor exploratory openings with the owners written permission as necessary to acquaint himself with these conditions prior to commencing construction.
7. All new sliding to match existing.
8. All new doors and windows to be specified by Owner/Architect.
9. All finishes to be specified by Owner/Architect.
10. Contractor shall coordinate all trades with the Owner/Architect.
11. Architect not responsible for faults in construction.
12. All new framing shall be KD lumber with MIN. Fb = 1200psi and E = 1400ksi.
13. All roof rafters to be 2"x12" KD lumber.
14. All floor joists to be 2"x10" KD lumber.
15. All posts to be 6"x6" lumber.
16. All girts to be Dbl 2"x10" KD lumber.
17. All construction shall be in full compliance with the building code.
18. All roof deck lumber to be pressure treated.

Project Directory

Owner: Duarte Family

168 Grinnel St,
New Bedford, Massachusetts

SHEET NUMBER A-0	SCALE: SEE VIEW 10/7/2014 DRAWN BY: DCCS	Owner: Duarte Family Address 168 Grinnel St, New Bedford, Massachusetts	Title Sheet	Design Construction & Consulting Services 74 Howland Street, Boston, MA. 02121 (617) 541 0991 
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SHEET NUMBER

A-1

SCALE: SEE VIEW

DATE:
10/17/2014
DRAWN BY: DCGS

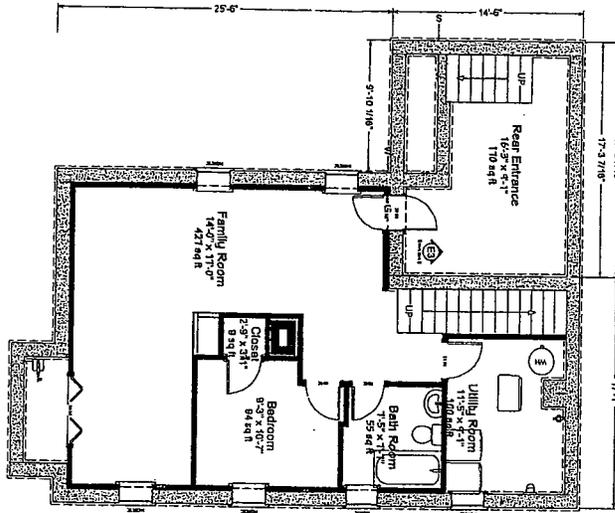
Owner: Duarte Family

Address 168 Grinnel St,
New Bedford, Massachusetts

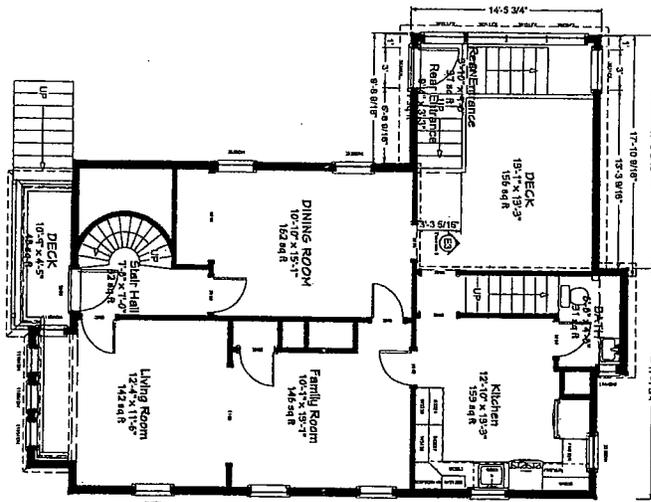
Perspective 1

Design Construction & Consulting Services
74 Howland Street, Boston, MA. 02121
(617) 541 0991

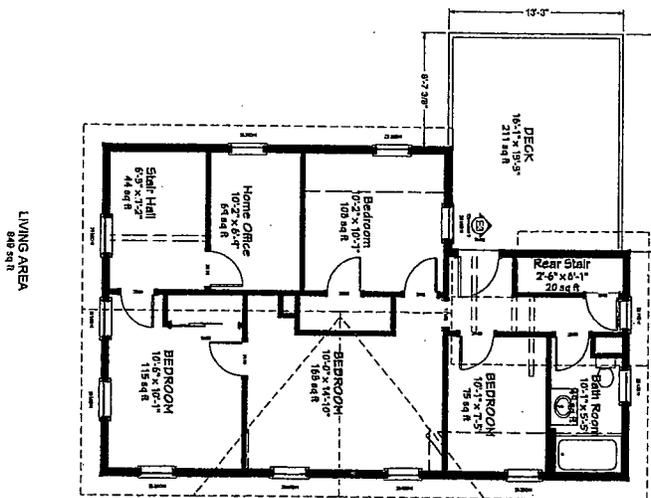




PROPOSED BASEMENT FLOOR PLAN
 LIVING AREA
 1148 sq ft
 Scale: 3/16" = 1'



PROPOSED FIRST FLOOR PLAN
 LIVING AREA
 820 sq ft
 Scale: 3/16" = 1'



PROPOSED SECOND FLOOR PLAN
 LIVING AREA
 680 sq ft
 Scale: 3/16" = 1'

Sheet Number
A-4

Scale:
 1/4" = 1"
 Date:
 10/1/2014

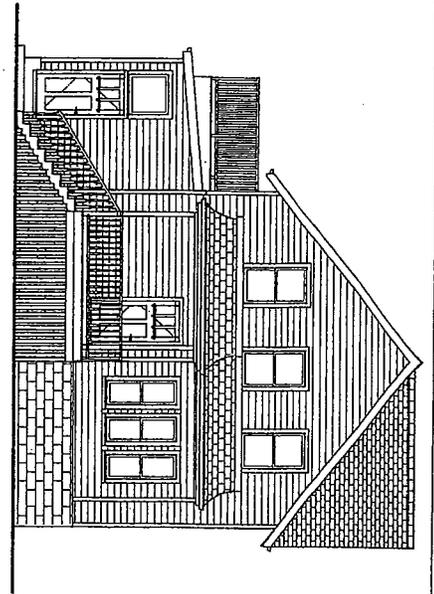
Owner: Name
 Address: Address

Proposed Floor Plans

An Architectural and Construction Company

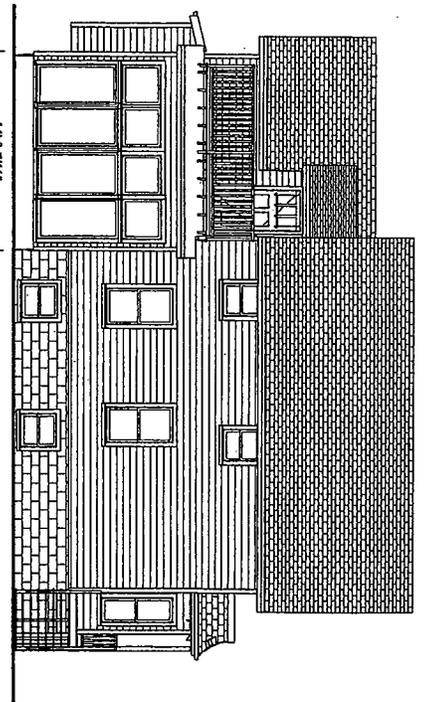
74 Hozland Street, Boston, MA 02121
 (617) 541 0991





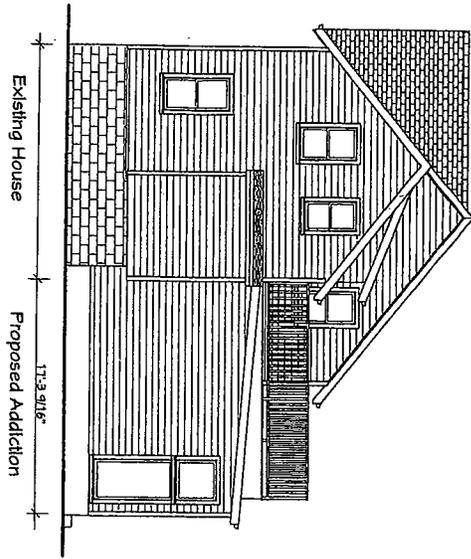
North Elevation
Scale: 3/16" = 1'

9'-1 1/8"
Proposed Addition
17'-3 9/16"
Existing House



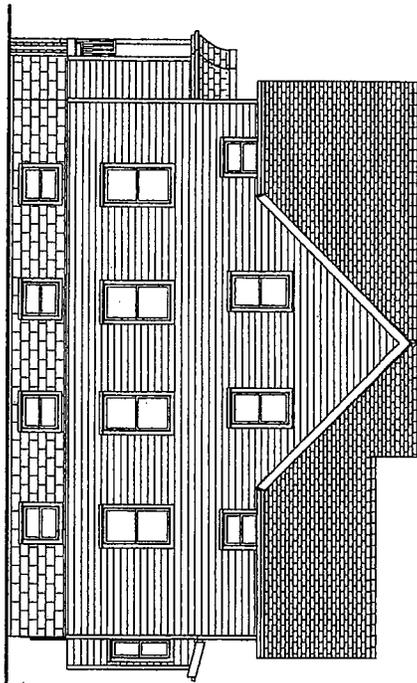
East Elevation
Scale: 3/16" = 1'

14'-3 7/16"
Proposed Addition
17'-3 9/16"
Existing House



South Elevation
Scale: 3/16" = 1'

17'-3 9/16"
Existing House
17'-3 9/16"
Proposed Addition



West Elevation
Scale: 3/16" = 1'

SHEET NUMBER
A-5

SCALE: SEE VIEW
DATE: 10/12/2014
DRAWN BY: DCCS

Owner: Duarte Family
Address 168 Grinnel St,
New Bedford, Massachusetts

Exterior Elevations

Design Construction & Consulting Services
74 Howland Street, Boston, MA, 02121
(617) 541 0991

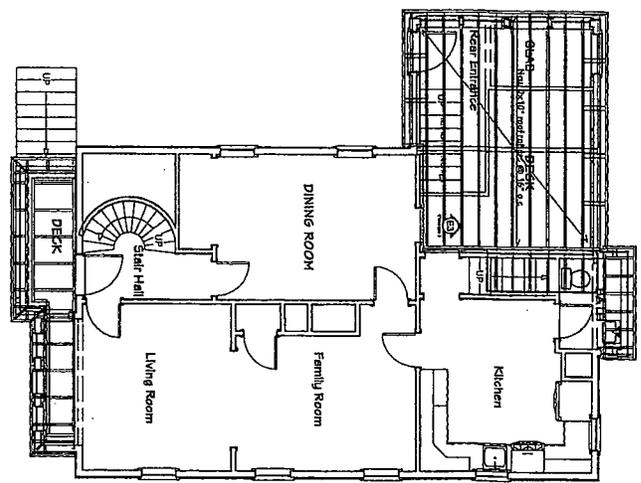
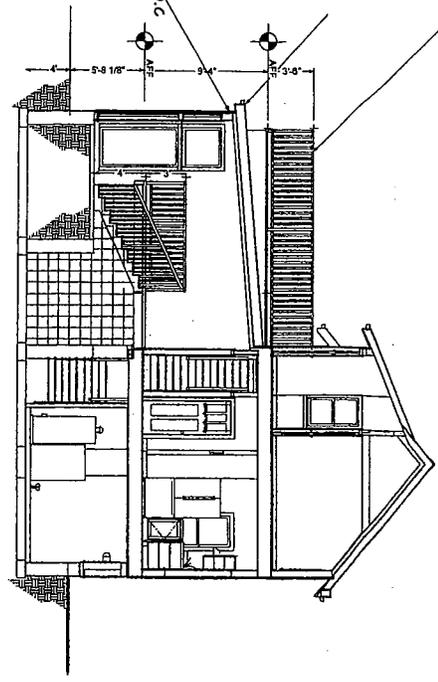


Deck:
 2x? PT floor joist @ 16" o.c
 5/4"x6 PVC/ultrtex decking
 4"x4" Fir newel post
 2"x4" Fir Handrails
 1 1/2"x1 1/2" Fir balusters
 TYP.

Roof System:
 .060 EPDM rubber roof
 1/2" Sub-strate
 3/8" CDX plywood
 2/12" KD @ 16" o.c
 R-40 Blanket Insulation
 1/2" Drywall TYP.

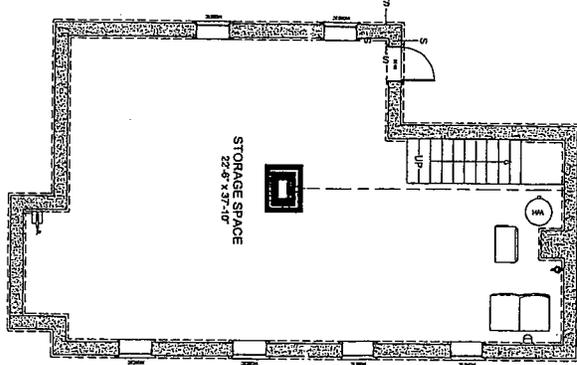
Exterior Wall:
 Sipling to match Existing
 Const. paper
 1/2" CDX Plywood
 2x6" wood studs @ 16" o.c
 R-20 Insulation
 1/2" G.I.M.B TYP.

E3 CROSS SECTION ELEVATION
 Scale: 3/16" = 1'

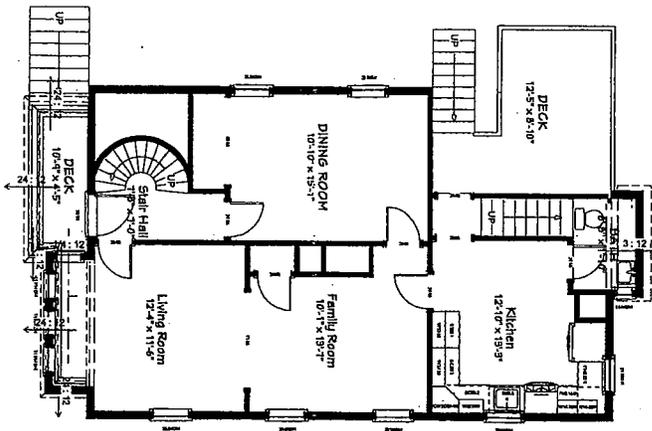


PROPOSED FRAMING PLAN
 Scale: 3/16" = 1'

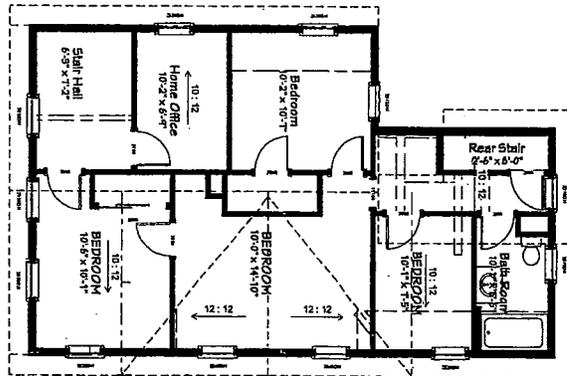
SHEET NUMBER A-6	SCALE: SEE VIEW DATE: 10/7/2014 DRAWN BY: DCCS	Owner: Duarte Family Address 168 Grinnel St, New Bedford, Massachusetts	Cross Section & Framing Plan	Design Construction & Consulting Services 74 Howland Street, Boston, MA. 02121 (617) 541 0991 
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EXISTING BASEMENT FLOOR PLAN
LIVING AREA 897 sq ft
Scale: 3/16" = 1'



EXISTING FIRST FLOOR PLAN
LIVING AREA 888 sq ft
Scale: 3/16" = 1'



EXISTING SECOND FLOOR PLAN
LIVING AREA 859 sq ft
Scale: 3/16" = 1'

SHEET NUMBER
A-3

SCALE: SEE VIEW
10/7/2014
DRAWN BY: DCCS

Owner: Duarte Family
Address: 168 Grinnel St,
New Bedford, Massachusetts

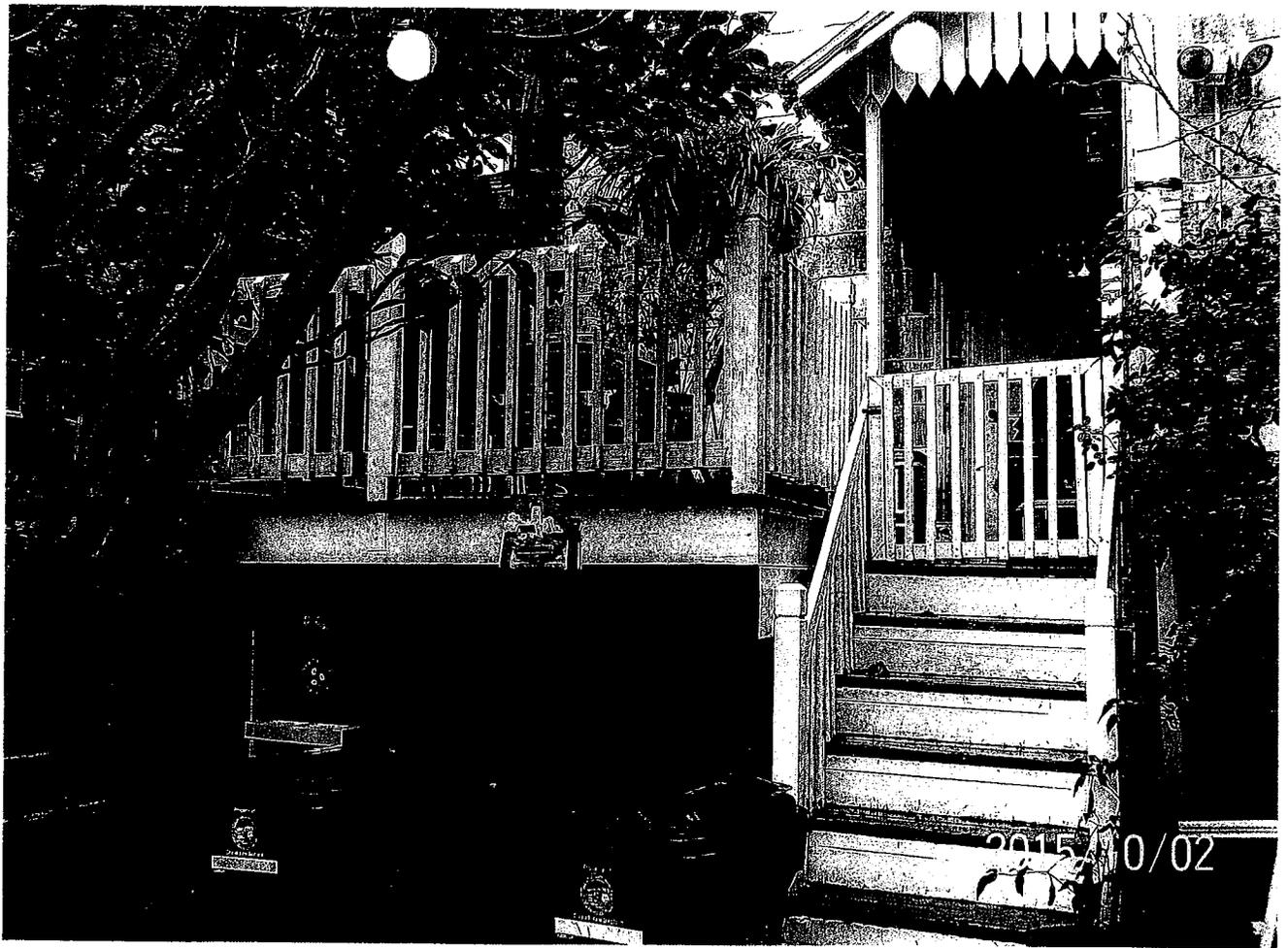
Existing Floor Plans

Design Construction & Consulting Services
74 Howland Street, Boston, MA. 02121
(617) 541 0991



168 Gurnell St

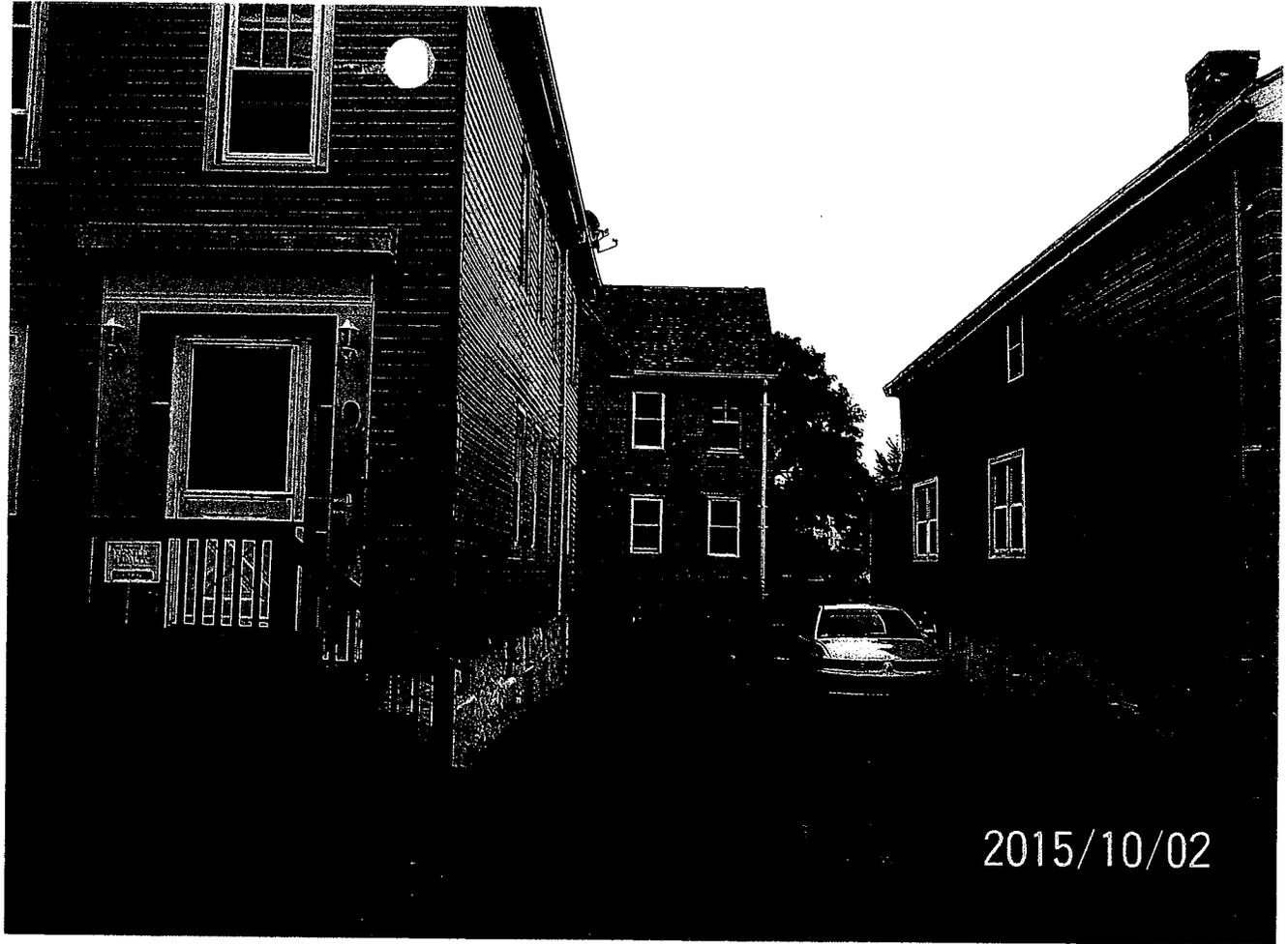












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